

HOPE VALE ABORIGINAL SHIRE COUNCIL

MEETING REPORT

ITEM NO 6.6.1: **GENERAL MEETING:**

SUBJECT: **CAPITAL WORKS MONTHLY UPDATE – MAY 2026**

CLASSIFICATION: **INFORMATION**

RECOMMENDATION

That Council:

- (a) Receive the Capital Works Manager's Update Report for April–May 2026.
 - (b) Endorse Tendering of contract works for 121 Link Rd and 25 Flierl Street Infill houses.
 - (c) Endorse Tendering of the Digital Services Centre contract works.
-

BACKGROUND / DISCUSSION

This report provides Council with a summary of Capital Works activities during April to May 2026. The report outlines progress across key infrastructure projects, housing initiatives, and strategic planning activities. Overall, the Capital Works program is progressing in line with planned staging, with a transition from planning into early delivery and implementation phases. Media information has also been released on our website for the Digital Services Centre as well as advertising signage for the various projects that are about to start.

Key outcomes of the report include:

- Advancement of the Digital Services Centre procurement process.
- Progression of infill housing and subdivision planning.
- Securing of additional Housing funding for land preparation and construction.
- Continued progress on Engineering investigations at the MPC.
- Update on Strategic Capital Housing Plan, CCTV and Lighting Program

Project	Status	Stage	Next Milestone
MPC Upgrade	In Progress	Assessment Complete	Receive updated Engineering report
Digital Services Centre	On Track	Procurement	Tender release
Infill Housing	On Track	Design	Tender and Construction August 2026
Palm Close Subdivision	In Progress	Planning	Approvals September/October 2026

1. Project Design and Delivery Progress

Multi-Purpose Centre (MPC)

Engineering consultants have completed on-site structural, electrical, and mechanical assessments. These investigations represent a critical step in understanding the current condition and future capability of the facility. Final engineering reports are currently being prepared and will provide detailed recommendations, including scope of required rectification works, upgrade pathways, and feasibility of improving the facility to a higher resilience standard. Upon receipt, Council will prioritise works based on risk, cost, and operational impact, and develop a staged upgrade plan.

Digital Services Centre

The Expression of Interest process for contractor engagement has been completed, with submissions received and currently under review. The next phase will involve shortlisting and issuing a formal tender based on councils endorsement, ensuring appropriate capability and value for money in delivery. The project remains on track for a targeted construction commencement in July/August 2026, subject to procurement finalisation.

Infill Housing (25 Flierl Street & 121 Link Road)

Concept designs for both sites have been completed and submitted to the Department of Housing for review and approval. Simultaneously, detailed design documentation is progressing to ensure readiness for certification and engineering approval. We have received initial comments and feedback on the designs from the Department which we are currently reviewing. One of the key items raised by the Department relates to the proposed stormwater management and overall site drainage strategy, noting that this has not been comprehensively addressed previously. This aspect will require further consultation and coordination with the civil engineers to ensure an appropriate and compliant solution is developed prior to finalisation of the design documentation.

Subject to capacity and procurement outcomes, it would be preferred if council would endorse approaching the market and tendering the construction of the infill houses through our internal building department to ensure fair competition and professional delivery. Construction is targeted to commence in August 2026.

2. Town Planning and Subdivision

The Palm Close subdivision continues to progress through planning and approvals. The subdivision forms a critical enabling component for future housing delivery. In parallel, early planning for associated earthworks and servicing is being considered to ensure readiness once approvals are secured. The Planning Scheme Review remains pending external funding approval, with no material change during this reporting period. We have been advised that our application has been recommended for approval. We await official comment.

3. Engineering and Technical Projects

In addition to the MPC assessments, engineering consultants also reviewed electrical infrastructure at Everlina Plaza, including switchboard capacity and performance issues. These investigations are aimed at identifying system limitations and informing future upgrade requirements, particularly in the context of increased demand from new developments. Findings from these assessments will contribute to a broader infrastructure upgrade strategy across key community assets.

4. Funding and Procurement

The CCTV and Lighting upgrade programs have advanced to award stage. Please refer to CCTV and Lighting additional report 6.6.2.

5. Housing Design Principles

The Housing Design Principles project, led by Indij Architecture, is actively progressing with initial community engagement and consultation underway. The project aims to develop a culturally appropriate and locally responsive design framework that will guide all future housing and infrastructure development. This will ensure consistency in built form, improved functionality, and stronger alignment with community needs and expectations.

6. Strategic Capital Housing Plan

The Strategic Capital Housing Plan is now transitioning into implementation, with focus on aligning funded projects, subdivision delivery, and infrastructure planning. The Plan continues to serve as the overarching framework for housing delivery, ensuring a structured and staged approach to addressing demand.

7. Asset Management and Budget Planning

Council is currently undertaking its budget review process, with significant input from the Capital Works program. Priority projects, maintenance requirements, and future growth initiatives have been identified and submitted for consideration. This includes potential expansion of staff housing, upgrades to existing assets, and longer-term development opportunities such as Evelina Phase 2.

8. Electricity Infrastructure

Council continues to investigate alternative energy solutions, including solar and hybrid systems, to address existing power constraints. Discussions with energy providers and consultants are ongoing, with recognition that a full delivery solution may take 2–3 years from concept through to implementation.

This remains a critical enabling factor for future development and housing expansion.

LINK TO OPERATIONAL PLAN

This work supports Council's Corporate Plan objectives relating to:

- Increasing housing supply and addressing overcrowding
- Delivering funded capital works in a staged, accountable manner
- Supporting community wellbeing through fit-for-purpose housing and infrastructure

CONSULTATION (Internal/External)

Ongoing consultation with:

- Department of Housing and Public Works
- Project consultants and engineers
- Town planning advisors

RISK ASSESSMENT

Low

Key risks:

- Planning and approval timeframes impacting delivery
- Electricity infrastructure constraints
- Dependency on external funding and procurement timelines

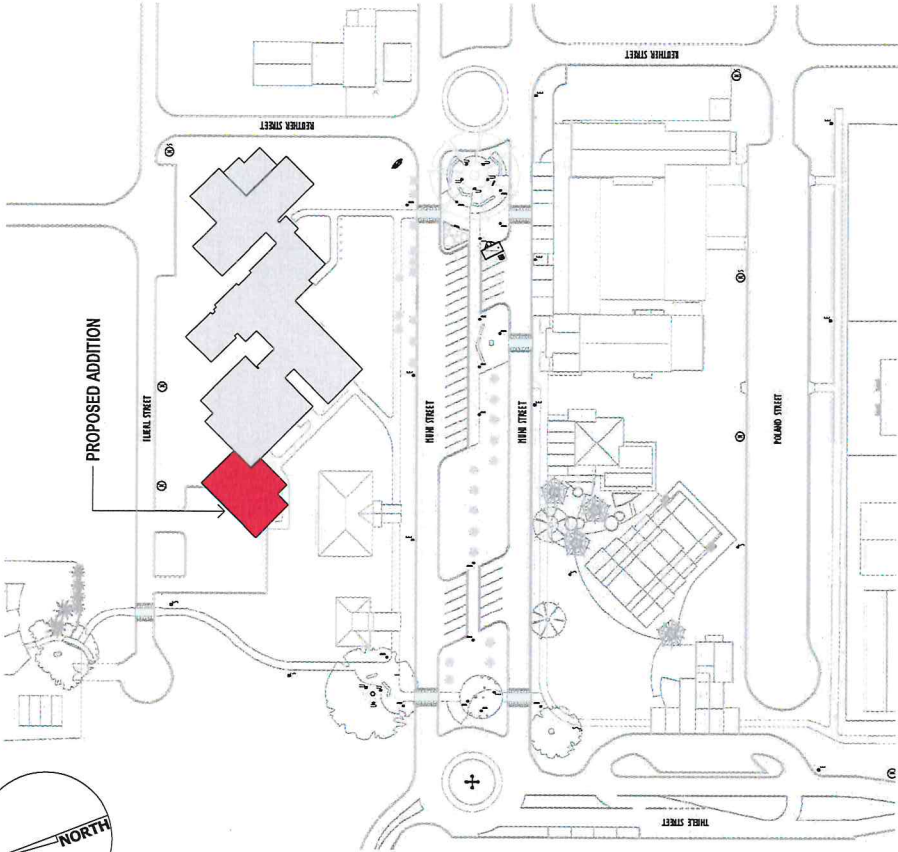
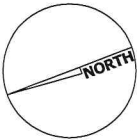
ATTACHMENTS:

- 3001 Business Centre Expansion
- 3005 121 Link Rd Design
- 3007 25 Flierl St Design

REFERENCE DOCUMENT:

- N/A

Report Prepared by: Kieran Eustice Capital Works Manager Date: 12/5/2026	Report Authorised by: Lew Rojahn CHIEF EXECUTIVE OFFICER
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DRAWING LIST

SHEET NUMBER	SHEET NAME	DESIGNED	REVISION	ISSUE DATE
A100	COVER SHEET	AW	3	29/03/26
A101	SITE PLAN	AW	3	29/03/26
A102	GROUND FLOOR PLAN	AW	3	29/03/26
A103	ROOF PLAN	AW	3	29/03/26
A104	NOTES & SCHEDULES	AW	3	29/03/26
A200	ELEVATIONS	AW	3	29/03/26
A201	ELEVATIONS	AW	3	29/03/26
A300	SECTIONS	AW	3	29/03/26
A401	SUB FLOOR PLAN	AW	3	29/03/26
A402	WALL FRAMING PLAN	AW	3	29/03/26
A403	HYDRAULIC PLAN	AW	3	29/03/26
A404	ELECTRICAL PLAN	AW	3	29/03/26
A405	ROOF FRAMING PLAN	AW	3	29/03/26
A500	DETAILED PLANS & ELEVATIONS	AW	3	29/03/26
A501	DETAILED PLANS & ELEVATIONS	AW	3	29/03/26
A501	STRUCTURAL DETAILS	AW	3	29/03/26

REVIEW

REVISIONS

No.	Description	Date
2	ISSUE FOR REVIEW	17/03/26
3	PRIOR EOI ISSUE	29/03/26

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING. CONTRACTOR TO VERIFY ALL DIMENSIONS OF EQUIPMENT SIZES AND SET OUTS ON SITE PRIOR TO CONSTRUCTION. INCONSISTENCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF MYRIAD DESIGN.



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07/041 7258 07/052 1690
085A 1164388

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

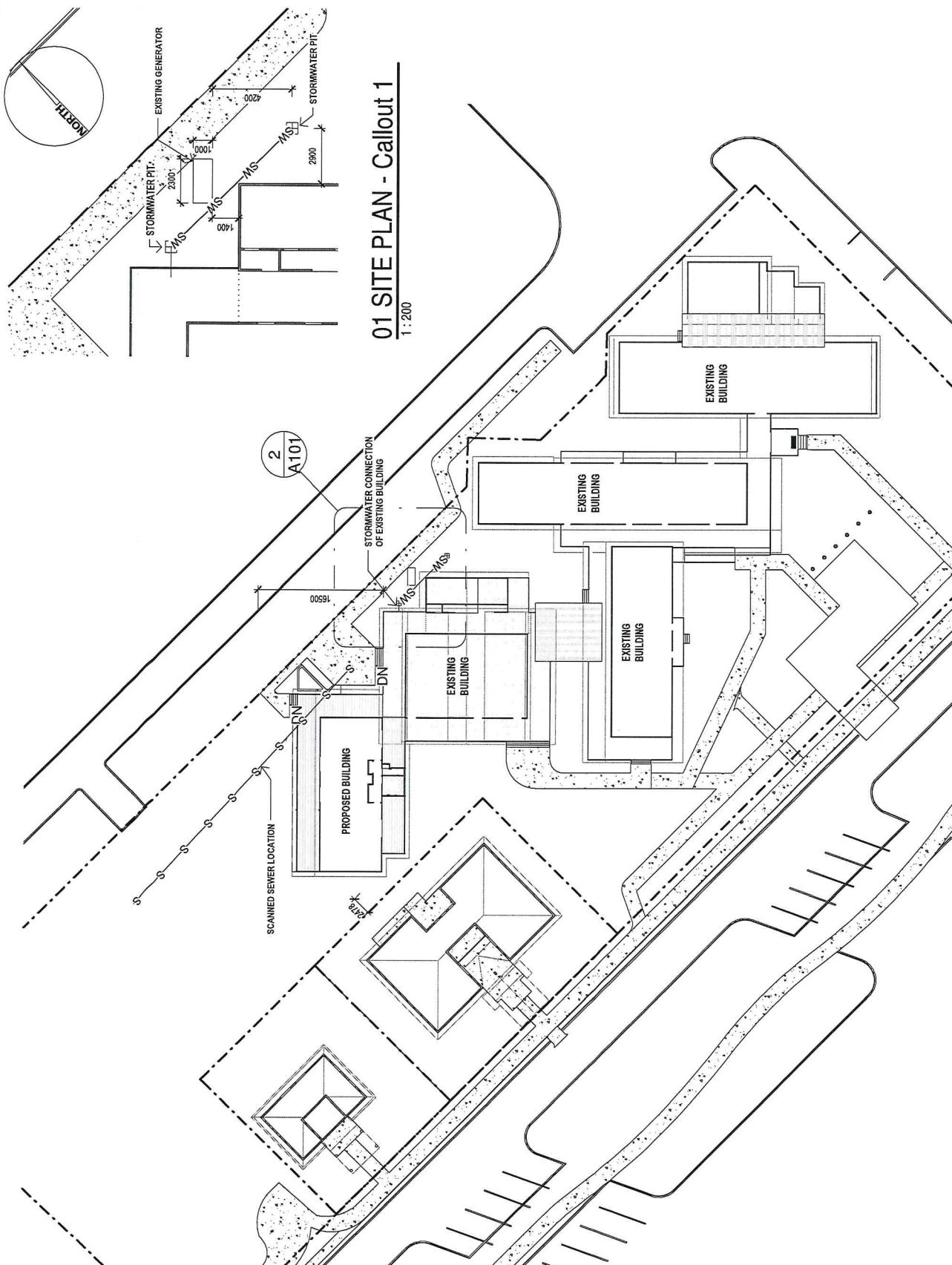
CLIENT NAME
HOPEVALE ASC

COVER SHEET

SCALE
1 : 400
ISSUE DATE
Issue Date

SHEET
NUMBER
3001- A100





No.	Description	Date
2	ISSUE FOR REVIEW	17/03/26
3	PRIOR EOI ISSUE	29/03/26

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 2. 176 buchan street, Cairns qld 4870
 3. 07 4052 1690

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

SITE PLAN

SCALE	As indicated
ISSUE DATE	Issue Date

SHEET
NUMBER 3001- A101

REVIEW

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES AND BUILDERS SPECIFICATION. SUB-CONTRACTORS ARE TO COMPLY WITH NCC AND ALL RELEVANT STANDARD CODES.

PLEASE BRING TO THE ATTENTION OF THE SITE SUPERVISOR ANY DISCREPANCIES, ANOMALIES AND/OR AMBIGUITIES ON THESE PLANS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK, FABRICATION OR MANUFACTURE.

CHECK ALL MANUFACTURERS REQUIREMENTS AND INSTALL IN ACCORDANCE WITH, CONFIRM TEST REQUIREMENTS AT THE TIME OF STATING WORK.


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07 4052 1690
07 4011 7258

PROJECT ADDRESS: REVIEW

GROUND FLOOR PLAN

SCALE	1 : 100
ISSUE DATE	Issue Date

**SHEET
NUMBER** 3001- A102

ROOF DRAINAGE

ALL ROOFWATER DRAINAGE SYSTEMS MUST BE CONNECTED TO A STORMWATER DRAINAGE SYSTEM COMPLYING WITH RELEVANT CODES & STANDARDS.

THE ROOF DRAINAGE SYSTEM MUST BE PROVIDED WITH AN OVERFLOW TO PREVENT THE BACKFLOW OF WATER INTO THE BUILDING;

THE AREA SPECIFIC RAINFALL INTENSITY MUST BE SELECTED FROM THE RELEVANT CODES & STANDARDS;

GUTTERS & DOWNPIPES ARE TO MATCH THE EXISTING AND CONNECT TO EXISTING SWD.

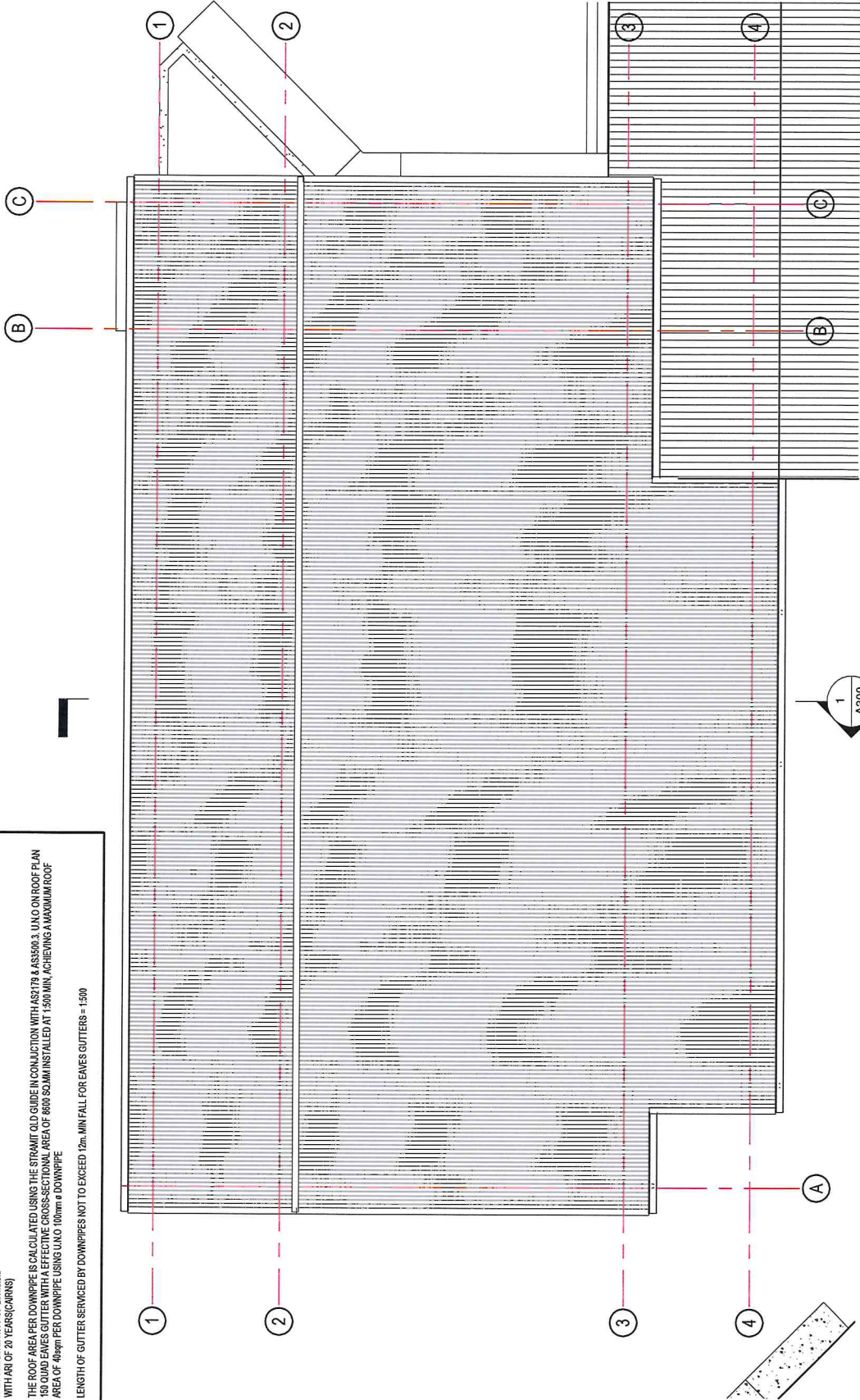
EAVES GUTTERS MUST BE INSTALLED AT A FALL NOT LESS THAN 1 IN 500 WITH SUPPORT BRACKETS AT 1.2m MAXIMUM CENTRES;

RAINWATER DRAINAGE

RAINFALL INTENSITY OF 200mm/hr
WITH ARI OF 20 YEARS(CARMS)

THE ROOF AREA PER DOWNPIPE IS CALCULATED USING THE STRAMIT QLD GUIDE IN CONJUNCTION WITH AS178 & AS4580.3 U.N.O. ON ROOF PLAN
150 QUAD EAVES GUTTER WITH A EFFECTIVE CROSS-SECTIONAL AREA OF 8800 SQ.MM INSTALLED AT 1500MM, ACHIEVING A MAXIMUM ROOF
AREA OF 46sqm PER DOWNPIPE USING U.N.O. 100mm x DOWNPIPE

LENGTH OF GUTTER SERVED BY DOWNPIPES NOT TO EXCEED 12m. MIN FALL FOR EAVES GUTTERS = 1:500



05 ROOF PLAN
1:100

REVISIONS

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DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALING. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EQUIPMENT SIZES AND REPORT TO THE DESIGNER PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF MYRIAD DESIGN.



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myriad building & design
176 buchan street, calins qld 4870
07 401 7258 07 4052 1690
QBSA 1164388

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

ROOF PLAN

SCALE 1:100
ISSUE DATE Issue Date

SHEET NUMBER 3001- A103

ALL SWING DOORS TO BE 2000X870 SOLID CORE WITH TRIPLE HINGES,
ALL HINGES TO BE STAINLESS STEEL.
ALL LOCKS MUST BE KEYED ALIKE. DOOR AND WINDOW LOCKS TO COMPLY WITH AS

ALL WINDOWS ARE TO BE SECURED WITH SECURITY SCREENS TO THE ENTIRE WINDOW BOTH SLIDING AND FIXED. POWDERCOATED BLACK FRAMES.

EXTERIOR QUALITY DOOR 35MM THICK WITH SOLID CORE FACED BOTH SIDES WITH WATER PROOF PLYWOOD AND 3 HINGES
ALL EXTERIOR DOORS ARE TO BE FITTED WITH DEADLOCKS IN ADDITION TO STANDARD DOOR LOCKS
ALL EXTERIOR DOORS ARE TO BE KEPT ALIKE
FRONT DOOR TO BE FITTED WITH RAVEN DOOR SEALS.

ALUMINUM SLIDING WINDOW WITH LAMINATED OR TOUGHEND GLASS ONLY WHERE SPECIFICALLY APPROVED FOR USE. POWDERCOATED BLACK FINISH (EXCEPT OBSCURE GLASS WITH FITTED VENT TO BATHROOM AND TOILET)

ALL DOOR FURNITURE TO MATCH EXISTING BUILDINGS HARDWARE OR LOCKWOOD SERIES EQUIVALENT TO ALL ENTRY POINTS.

ALL WINDOWS TO SUIT AS 1288 CERTIFICATION AND NCC SOLAR CONTROL REQUIREMENTS FOR ENERGY EFFICIENCY. PROVIDE GLAZED WINDOWS WITH POWDERCOATED BLACK FRAMES AND LAMINATED OR TOUGHEND GLASS WHERE SPECIFICALLY APPROVED FOR USE.

1. ALL DRAINAGE SHALL BE 100 DIA UPVC R/IN AT MINIMUM GRADE OF 1:60 UNO.
2. ALL VENT PIPES TO TERMINATE IN ACCORDANCE WITH AS 1500
3. ALL S/S UNDER CONCRETE TO BE TIGHT TO SURFACE LEVEL AND FITTED WITH APPROVED BRASS SCREW CAP
4. ALL TWCS SHALL HAVE 100MM DIA RISERS & REMOVABLE METAL SCREW GRATES/CHROME PLATED WHERE EXPOSED
5. WHERE PVC PIPES PENETRATE OR ARE BUILT INTO WALLS OR SLABS THE PIPES SHALL BE LAGGED WITH APPROVED MATERIAL IN ACCORDANCE WITH AS 3500
6. MAXIMUM DISTANCE OF UNVENTED BRANCH DRAIN TO FIXTURES, DCS AND ORGS IS 10 METRES

1. FITTED WITH FIRE STOP COLLARS AS REQUIRED.
2. HOUSE DRAINAGE: UPVC CLASS DWW TO AS 1260
3. ALL W/C'S TO BE SCREW FIXED TO FLOOR WITH NYLON PLUGS AND NON-CORROSIVE METAL SCREWS.
4. ALL DISCHARGED PIPES RECEIVING CONDENSATE WASTE INCLUDING TRAPS SHALL BE INSULATED.
5. FLOOR WASTE COLLECTS RECEIVING DISCHARGES FROM TUBS OR WASHING MACHINES TO BE DISCHARGED THROUGH PONG GRATE VALVES TO PREVENT FLOWING THROUGH LOOSE GRATES.
6. ACROUSTIC INSULATION CAPABLY ACHIEVING AIRBORNE OR 45WB (POLYURETHANE SSK PUSH FIT) OR EQUIVALENT OF RATED PREWORK DEPENDING ON LOCATION RELATIVE TO HABITABLE AREAS IS TO BE INSTALLED TO ACHIEVE THE SOUND RATING REQUIREMENTS TO COMPLY WITH THE AS 1260

1. ALL WORK TO BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SEWERAGE AND WATER SUPPLY LAWS 1988, BUILDING CODE OF AUSTRALIA, AS 2419, AS 2441, AS 2444, NATIONAL PLUMBING AND DRAINAGE CODE AS 3500 PART 12.3.4.1, CARNS REGIONAL STANDARDS
2. CONTRACTOR TO CHECK INTERPRETATION OF BYLAWS WITH COUNCIL
3. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE ARCHITECTS, MECHANICAL, ELECTRICAL, STRUCTURAL ENGINEERS AND LANDSCAPE CONSULTANTS
4. CONTRACTOR TO VERIFY ALL SURFACE LEVELS, INVERT LEVELS AND COVER OVER WASTE DRAINAGE LINES ARE CORRECT AND OBTAINABLE BEFORE COMMENCEMENT OF WORK
5. LOCATIONS OF EXISTING SERVICES ON SITE ARE ONLY APPROXIMATE AND HAVE NOT BEEN VERIFIED THE CONTRACTOR SHALL VERIFY LOCATIONS OF SERVICES BEFORE COMMENCEMENT OF WORK
6. CONCEAL ALL PIPEWORK WHERE POSSIBLE
7. ALL PIPES AND UNDERGROUND IN LANDSCAPING TO BE MINIMUM DEPTH OF 400MM TO INVERT LEVEL AND SHALL BE THE TOWN/DIA UNO
8. WHERE SERVICE PIPEWORK SIZES SHOWN AS NOMINAL BORE, ANY ALTERNATIVES TO BE APPROVED BY COUNCIL
9. CONTRACTOR TO PROVIDE ALL NECESSARY CONSTRUCTED DOCUMENTS TO THE SUPERINTENDENT ON COMPLETION OF THE WORK
10. DO NOT SCALE FROM DRAWINGS

1. PIPES LOCATED IN MASONRY WALLS OR CONCRETE SLABS ARE TO BE CONDUITED
ACCORDANCE WITH AS 3500

2. LOCATIONS OF CONTROL VALVES ARE SHOWN DIAGRAMMATICALLY ONLY. LOCATE ON
SITING IN ACCESSIBLE POSITIONS IN ACCORDANCE WITH AS 3500

3. HOT AND COLD WATER PIPING IS SHOWN DIAGRAMMATICALLY ONLY

4. ALL HOT AND COLD WATER LINES TO INDIVIDUAL FIXTURES TO BE MINIMUM 15MM DIA
AND 20MM TO TWO OR MORE FIXTURES OR AS SHOWN ON THE DRAWINGS

5. MATERIALS

5.1. POLYETHYLENE GLASS REINFORCED PIPE AND FITTINGS TO 40, 400 OR EQUAL
COLD WATER SERVICE. REHAU CROSS LINKED PIPE TO ISO 9001 / COPPER TYPE "B" TO AS
1432 OR EQUAL

5.2. POLYETHYLENE GLASS REINFORCED PIPE AND FITTINGS TO 40, 400 OR EQUAL
COLD WATER SERVICE. REHAU CROSS LINKED PIPE TO ISO 9001 / COPPER TYPE "B" TO AS
1432 LAGGED AS SPECIFIED OR EQUAL

3. HOT AND COLD WATER PIPING: TO SHOW DIAGRAMMATICALLY TO ONLY 1/2" DIA. AND 20' MAX. LENGTHS OF PIPING.
4. ALL HOT AND COLD WATER LINES TO INDIVIDUAL FIXTURES TO BE ONLY 1/2" DIA. AND 20' MAX. LENGTHS OF PIPING.
5. MATERIALS:
 - a. COLD WATER MAIN: POLYETHYLENE PIPE (PE) AND FITTINGS TO 4" OR EQUAL.
 - b. COLD WATER SERVICE: REHAU CROSS LINKED HOPE TO ISO 9001 / COPPER TYPE "B" TO 1/2" OR EQUAL.
 - c. HOT WATER SERVICE: REHAU CROSS LINKED HOPE TO ISO 9001 / COPPER TYPE "B" TO 1/2" OR EQUAL.
 - d. THE HOT WATER SYSTEM SHALL BE POWERED BY A HEAT PUMP.
 - e. HOT WATER SYSTEM: REQUIRED TO BE GREENHOUSE ENERGY CERTIFIED AT 14.0 OR 14.0+ DEPENDING ON THE NUMBER OF BEDROOMS OR GAS HOT WATER SYSTEM WITH A STAR ENERGY RATING.
 - f. HOT WATER SUPPLY FOR PERSONAL HYGIENE PURPOSES IS TO BE STORED AT A MINIMUM OF 90 DEGREES C AND SUPPLIED TO SANITARY OUTLETS USED PRIMARILY FOR PERSONAL HYGIENE PURPOSES AT TEMPERATURES THAT SHALL NOT EXCEED 115 DEGREES C.
 - g. AT 15 DEGREES C FOR CHILD CARE CENTRES, SCHOOLS, NURSING HOMES OR DISABLED.

8. HOT WATER UNITS TO BE CAPABLE OF ATTAINING AND MAINTAINING TEMPERATURES IN EXCESS OF THOSE REQUIRED AT THEIR POINT OF USE AND INSTALLED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS - OFF PEAK RATES
9. HOT WATER UNITS TO BE LOADED IN NON-CORROSIVE SALT TRAY WITH 50 DA WASTES IN ACCORDANCE WITH 3500 A DISCHARGING AS SHOWN ON THE DRAWINGS
10. ALL HCS SHALL BE FITTED WITH APPROVED BACKFLOW PREVENTION DEVICES
11. WHERE THE MAINS WATER PRESSURE SERVING A CLASS 1 BUILDING EXCEEDS OR EQUALS 500KPA A PRESSURE LIMITING DEVICE (NIP) SHALL BE INSTALLED AT THE BOUNDARY TO ENSURE THE MAXIMUM PRESSURE DOES NOT EXCEED 500KPA

MARK	TYPE	HEAD HEIGHT	HEIGHT	WIDTH	SILL HEIGHT	TYPE
01	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
02	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
03	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
04	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
05	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
06	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
07	05.18.SW	2100	600	900	1500	SLIDING GLASS WINDOW
08	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
09	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW
10	05.18.SW	2100	600	1800	1500	SLIDING GLASS WINDOW

MARK	TYPE	HEAD HEIGHT	HEIGHT	WIDTH	SILL HEIGHT	TYPE
01	2520	2040	2040	919	0	SOLID CORE SWING DOOR
02	2620	2040	2040	919	0	SOLID CORE SWING DOOR
03	21.24.SD	2100	2100	1850	0	SLIDING GLASS DOOR
04	21.24.SD	2100	2100	1850	0	SLIDING GLASS DOOR
09	21720	2040	2040	7120	0	SOLID CORE SWING DOOR
05	920.DOOR	2040	2040	920	0	SOLID CORE SWING DOOR
06	920.DOOR	2040	2040	920	0	SOLID CORE SWING DOOR
07	820	2040	2040	820	0	SOLID CORE SWING DOOR
08	920.DOOR	2040	2040	920	0	SOLID CORE SWING DOOR

No.	Description	Date
1	EXISTING PLAN & CONCEPT REVIEW ISSUE	17/02/26
2	PRIOR EOI ISSUE	29/03/26

HOPE VALE

MORNING

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

CLIENT NAME
HOPEVALE ASC

SCALE 1 : 100
ISSUE DATE

FIT ALL WINDOWS WITH FRAMED BLACK CRIMSANE MESH TO MATCH EXISTING

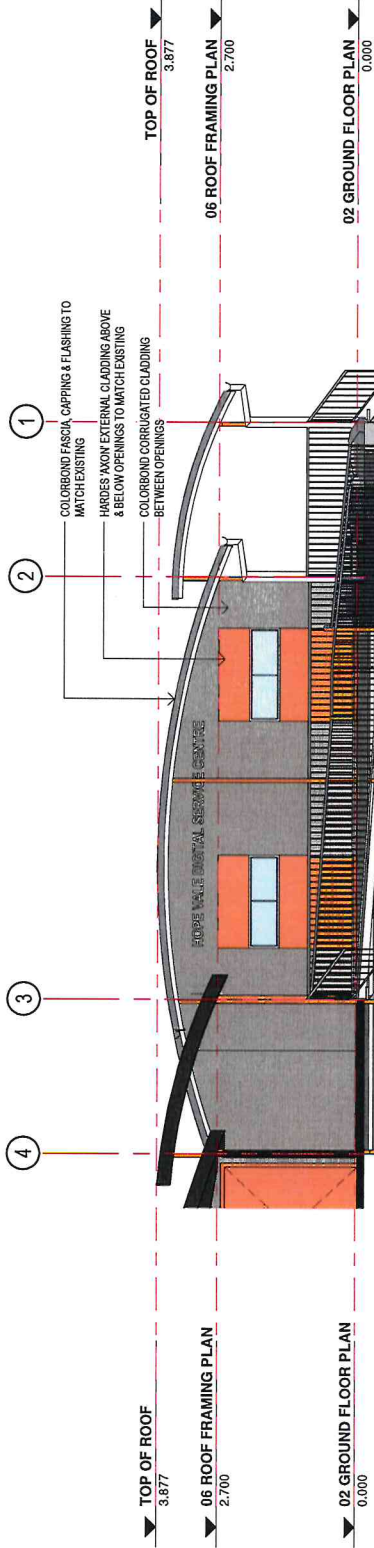
GENERAL NOTES

ALL PLANS ARE TO BE READ IN CONJUNCTION WITH THE CONSTRUCTION NOTES AND BUILDERS SPECIFICATION. SUB-CONTRACTORS ARE TO COMPLY WITH NCC AND ALL RELEVANT STANDARD CODES.

PLEASE BRING TO THE ATTENTION OF THE SITE SUPERVISOR ANY DISCREPANCIES, ANOMALIES AND /OR AMBIGUITIES ON THESE PLANS. VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK, FABRICATION OR MANUFACTURE. CHECK ALL MANUFACTURERS REQUIREMENTS AND INSTALL IN ACCORDANCE WITH CONFIRM LATEST REQUIREMENTS AT THE TIME OF STATING WORK.

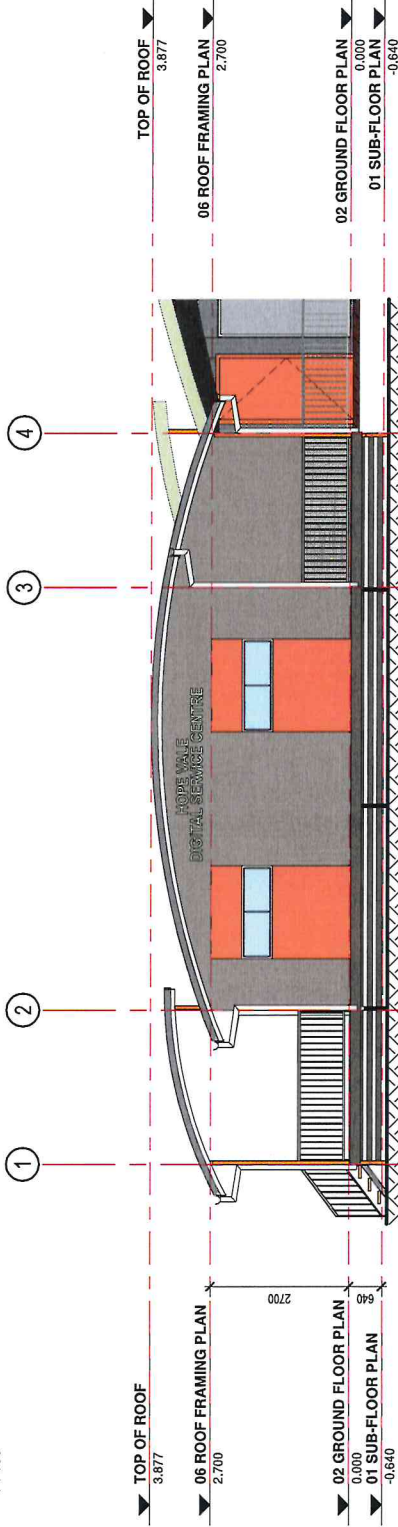
MATERIAL LEGEND

CODE	NOTE TYPE
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01 NORTH EAST ELEVATION

1 : 100



NOTE: PROVIDE COLOUR MATCH SAMPLE PAINT TO EXISTING BUILDING PRIOR TO ORDERING THROUGHOUT EXTERIOR & INTERIOR MATCH COLOURS TO EXISTING BUILDING.

REVIEW

REVISIONS

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myriad

myriad
1176 buchan street, calms qd 4870
07 7041 7258 07 4052 1690
1164388

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

ELEVATIONS

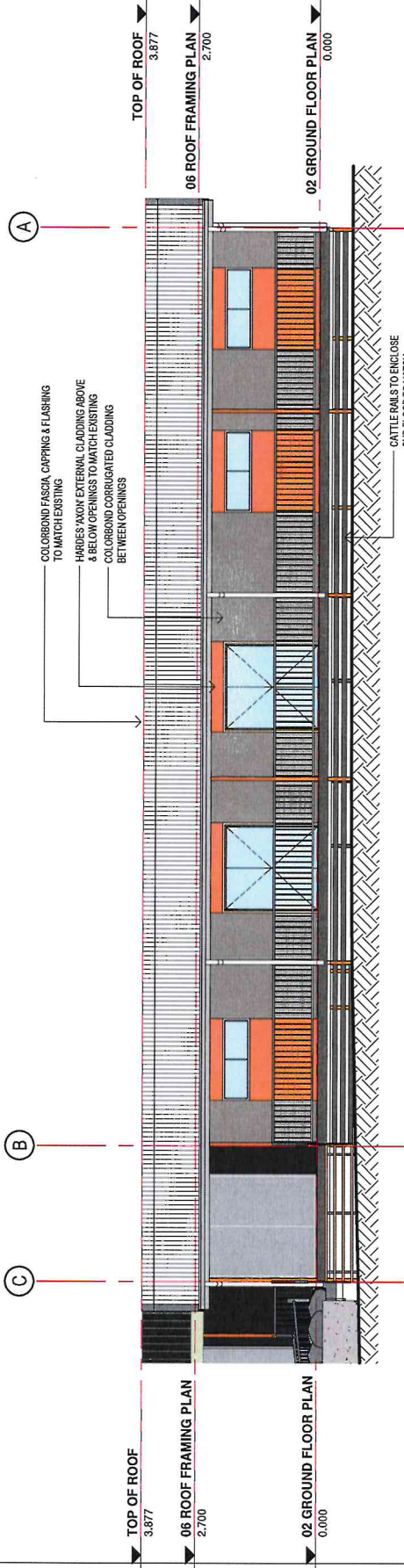
SCALE 1 : 100
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SHEET NUMBER 3001- A200

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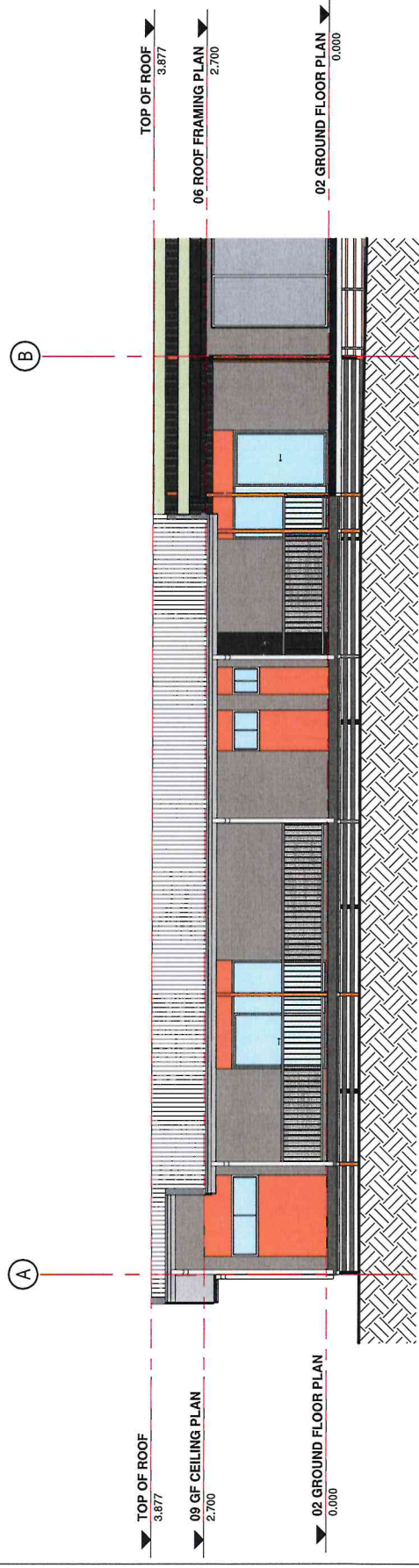
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CHECK ALL MANUFACTURERS REQUIREMENTS AND INSTALL IN ACCORDANCE WITH, CONFIRM LATEST REQUIREMENTS AT THE TIME OF STATING WORK.



03 NORTH WEST ELEVATION

1:100



04 SOUTH EAST ELEVATION

1:100

REVIEW

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07 4052 1690
07 4011 7258
DPSA 1164388

PROJECT NAME:
HOPEVALE ABOORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION
PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC
ELEVATIONS

SCALE 1:100
ISSUE DATE
Issue Date
SHEET NUMBER 3001- A201

REVIEW

REVISIONS

No.	Description	Date
1	ISSUE FOR REVIEW	17/03/26
2	PRIOR EOI ISSUE	29/03/26

DIMENSIONS SHALL TAKE PRECEDENCE OVER ANY OTHER INFORMATION. THE DESIGNER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SETTING OUT ON SITE PRIOR TO CONSTRUCTION. INCONSISTENCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF MYRIAD DESIGN.



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DESIGN 1164388

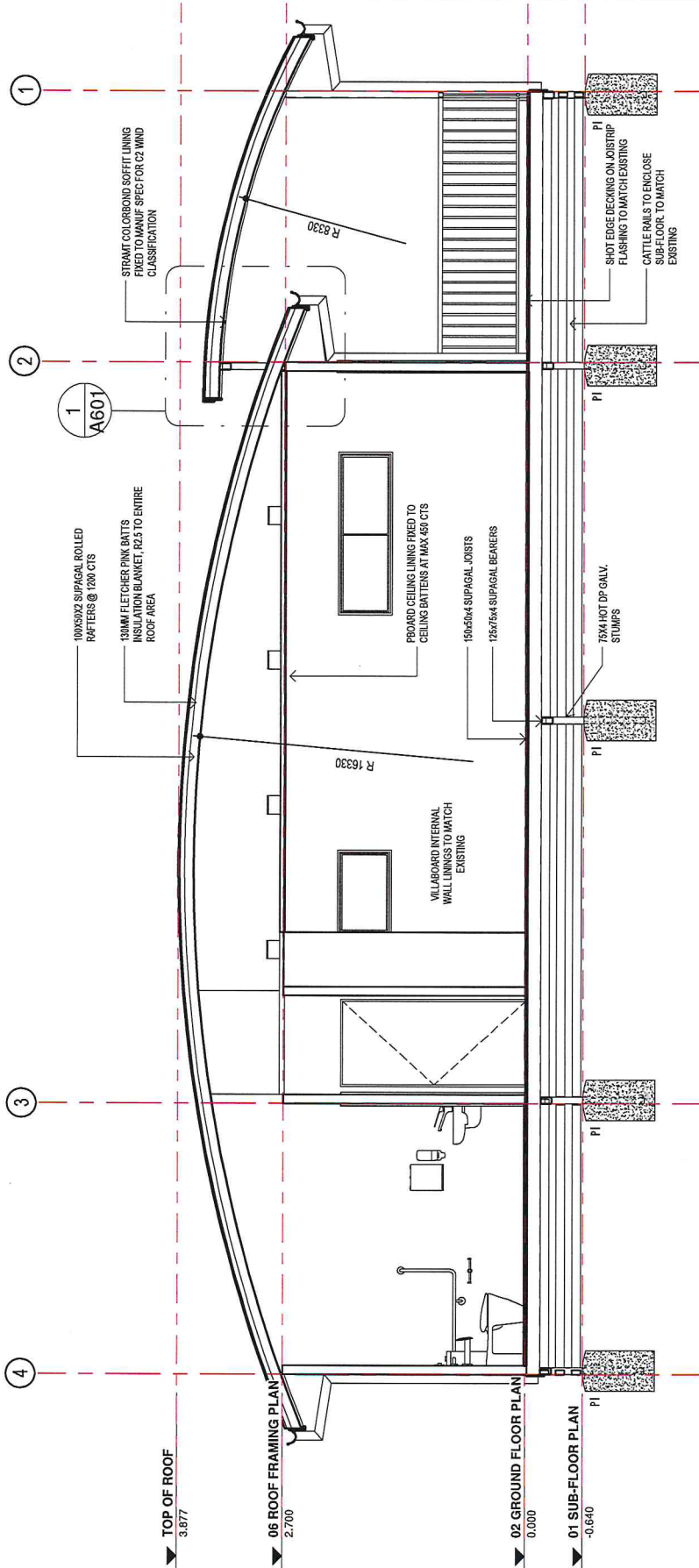
PROJECT NAME:
HOPEVALE ABOORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

SECTIONS

SCALE	1 : 50
ISSUE DATE	Issue Date
SHEET NUMBER	3001- A300



STORMWATER AND DRAINAGE LAYOUTS ARE DIAGRAMMATIC ONLY AND IS TO BE CONFIRMED BY A LICENSED PLUMBER AND DRAINER.

DISCHARGE POINTS TO KERB, TO BE IN CONFORMANCE WITH PARTS H2D2 & H2D6 OF THE NCC Vol2 AND PART 7.4 OF THE ABCB HOUSING PROVISIONS STANDARD



**P2: OFFSET FROM EXISTING SEWER LINE TO BE
CONFIRMED BASED ON SEWER INVERT LEVEL**

SCALE
1 : 100

ISSUE DATE

SHEET
NUMBER

REVISIONS

No.	Description	Date
1	ISSUE FOR REVIEW	17/03/26
2	PRIOR EOI ISSUE	29/03/26

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176 buchan street, calins q'd 4870
07/011 7258 07 4052 1690
QBSA 1164388

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

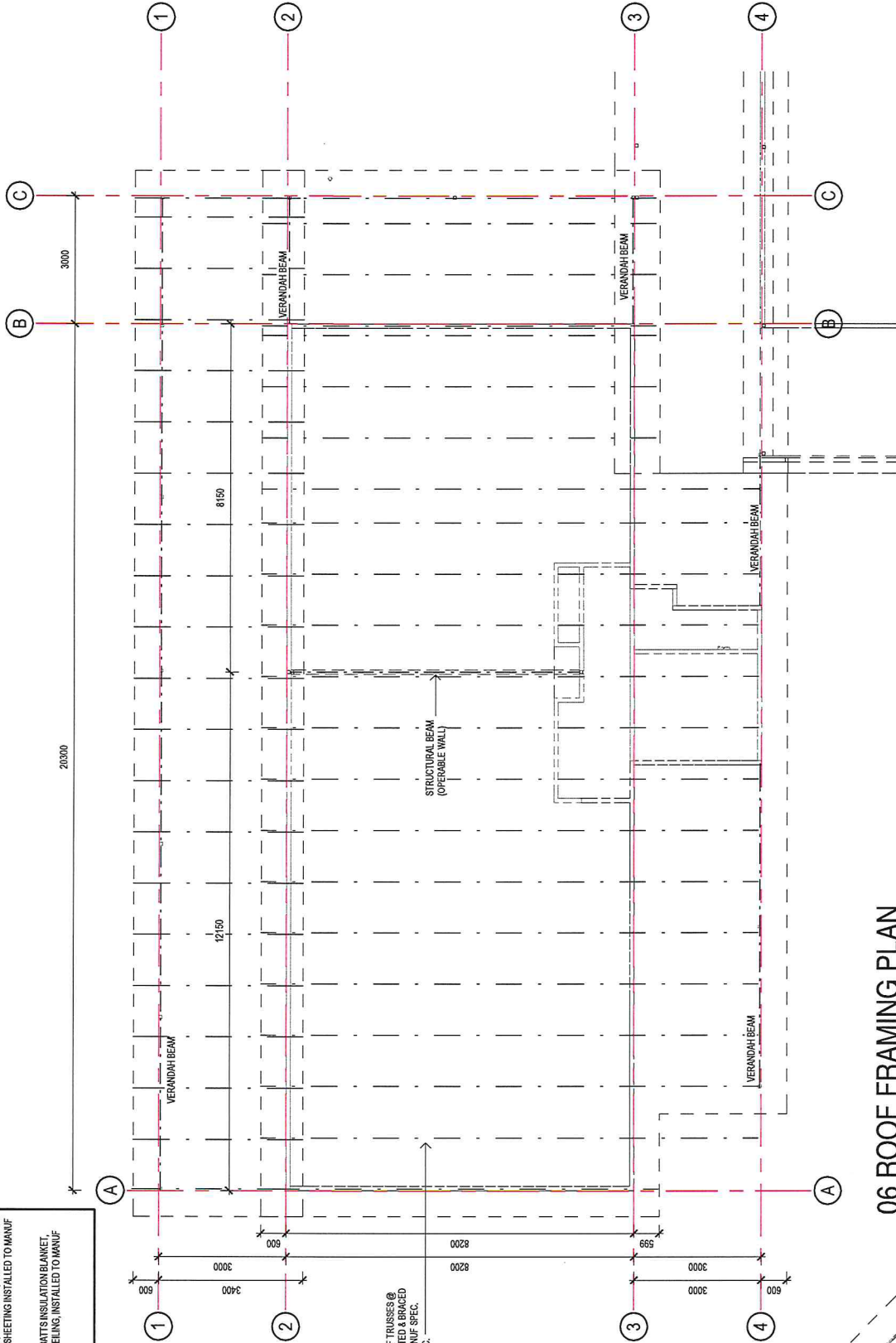
PROJECT ADDRESS:
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CLIENT NAME
HOPEVALE ASC

SUB FLOOR PLAN

1 : 100

TYP. TRUSSES TIE DOWN - 100X75X6 UA ONE SIDE OF TRUSSES, 14M12 BOLT THRU TOP PLATES, 14M18 BOLT THRU OR OVER TRUSS NAIL PLATE.
ROOF BATTENS 40x75MM TOP HATS SPACING TO MATCH EXISTING
NOTE: WHERE BATTENS CROSS INTERVAL WALLS, FIX TO WALL WITH 100mm BATTEN SCREWS LEAVING 10-15mm FOR VERTICAL MOVEMENT OF THE TRUSS
COLORBOND ROOF SHEETING INSTALLED IN ACCORDANCE WITH MANUF SPEC TO WIND CLASSIFICATION C2
RECELOR BATTENS 140x75MM TOP HATS TIE DOWN TO MATCH EXISTING WITH 14M12 BOLT THRU TOP PLATES, 14M18 BOLT THRU OR OVER TRUSS NAIL PLATE
SCREWS @ EACH CONNECTION TO TRUSSES, METAL STRAP BRACING TO TRUSS MANUF DETAILS.
PROVIDE REFLECTIVE FOIL-FLETCHER INSULATION, FOAM CELL MULTIPURPOSE, R10.2, 8MM THICK, OVERLAP 150MM, INSULATION UNDER ROOF SHEETING INSTALLED TO MANUF SPEC
PROVIDE FLETCHER PINK BATT'S INSULATION BLANKET, PEGS, 130MM THICK OVER CEILING, INSTALLED TO MANUF SPEC



06 ROOF FRAMING PLAN

1:100

REVIEW

REVISIONS

No.	Description	Date
1	ISSUE FOR REVIEW	17/03/26
2	PRIOR EOI ISSUE	29/03/26

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PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

ROOF FRAMING PLAN

SCALE 1:100

ISSUE DATE Issue Date

SHEET NUMBER 3001- A405

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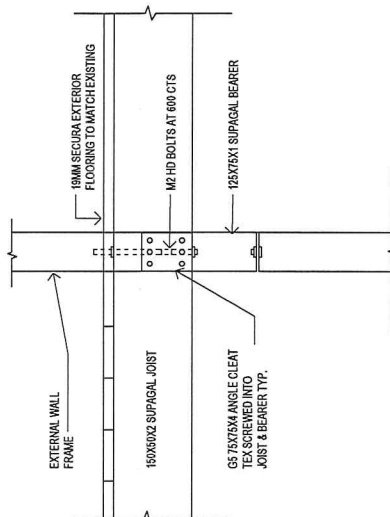
PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

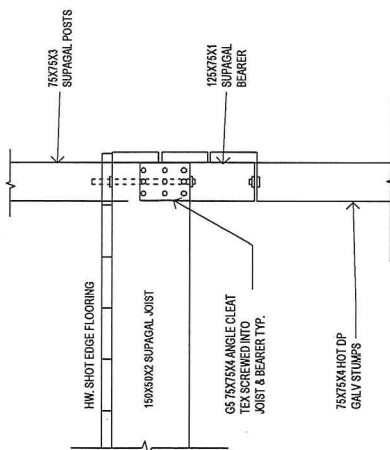
CLIENT NAME
HOPEVALE ASC

STRUCTURAL DETAILS

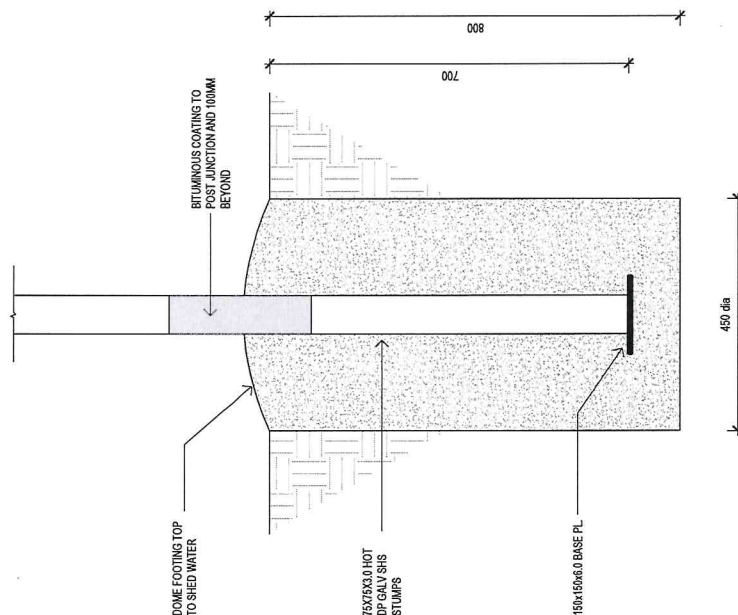
SCALE	1 : 10
ISSUE DATE	Issue Date
SHEET	
NUMBER	3001- A600



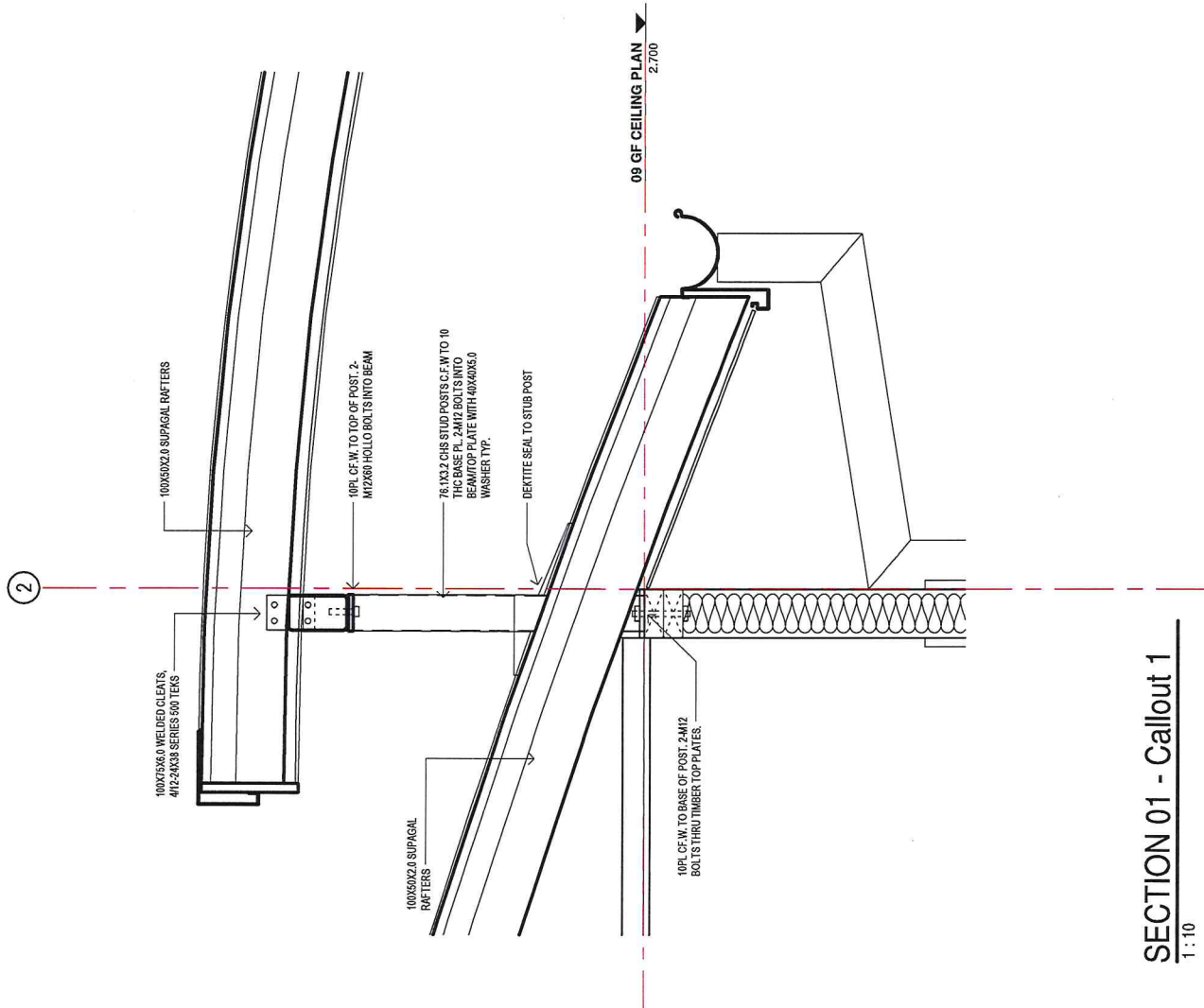
F2 DETAIL
1:10



F1 DETAIL
1:10



FOOTING DETAIL P1
1:10



SECTION 01 - Callout 1

SCALE
1:10

ISSUE DATE

SHEET

3001- A601

REVIEW

REVISIONS

No.	Description	Date
1	PRIOR EOI ISSUE	29/03/26

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 176 buchan street, calms q'd 4870
 07 041 7258 07 4052 1690
 GSA 1164388

Q8SA 1164388

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

STRUCTURAL DETAILS

G. General

- G.1 do not scale drawings. All dimensions to be confirmed on site.
G.2 all construction to be in accordance with relevant Australian standards, the building code of Australia and local authority regulations.
G.3 all workmanship and materials to be in accordance with relevant Australian standards.
G.4 the structure is to maintain in a stable condition at all times.

SN. Site notes

- SN.1 Earthworks to be in accordance with AS 2870.
SN.2 All water to be drained away from buildings during and after construction.
SN.3 All levels to be confirmed on site - align with existing building levels.
SN.4 Prior to completion, natural soil level around house to be regraded with 75mm set down from verandah/carport slab edge with maximum 1:10 fall away from dwelling

F. Footings and slab notes

- F.1 Footings have been designed for class 'M' site classification. Builder to verify site conditions prior to construction.
F.2 Natural foundations to be grubbed out and free of organic matter and debris and compacted to min 98% sdd at -5% to +2% of optimum moisture content or not less than 70% density index f or cohesionless soils.
F.3 Fill to slab and foundations shall be an approved non-plastic material compacted in max 200mm layers to min 98% sdd at -5% to +2% of optimum moisture content or not less than 70% density index for cohesionless soils.
F.4 Footing trenches to be clean and dry at the time of casting with any softened material removed. Base of all footings to be founded on firm natural ground with min safe bearing capacity of 100 kpa.
F.5 Concrete slab and footings N20. Vibrate concrete and cure slab for min 7 days. Concrete cover to be maintained by the use of approved chairs spaced at approx. 750mm centres. Conduits and pipes shall not be placed within cover concrete.

C. Concrete

- C.1 Concrete generally in accordance with AS3600.
C.2 Concrete specification unless noted otherwise.
C.3 Reinforcement notation:
'N' denotes grade D500n hot rolled rebar to AS4671
'S' denotes grade D250n hot rolled rebar to AS4671
'R' denotes grade R250n hot rolled plain round to AS4671
'T' denotes grade R500 cold drawn round wire to AS4671
'DW' denotes grade D500 cold drawn ribbed wire to AS4671
'RL', 'SL', 'L', 'TM' denotes grade D500 deformed wire meshes to AS4671
Additives shall not be used without the superintendent's approval.
C.4 Mechanically vibrate concrete in the form to give maximum compaction without segregation of the concrete.
C.5 Cure concrete as required by section 19 of AS3600.
C.6 Concrete sizes shown are minimum and do not include applied finishes. Do not reduce or hole concrete without superintendent's approval.
C.8 Do not place conduits, pipes and the like within the cover concrete.
C.9 Formwork shall generally comply with AS3610.
C.10 Stripping of formwork shall comply with section 19 of AS3600.

R. Roofing

- R.1 Roof trusses and roof bracing in accordance with manufacturer's specification for C2 (W60c) wind classification.
R.2 Roof battens
a) 40x0.75mm top hats, spacing to match existing. 2-no. 12-11x40 hex head type 17 self drilling screws.
R.3 Roof sheeting fixed in accordance with manufacturer's specification for c2 (w60c) wind specification.

S. Steelwork

- S.1 Generally in accordance with AS 4100, as 1554.1 and AS 1558.
S.2 Unless noted otherwise, the following materials shall be used:
A) Hot rolled sections grade C300 plus to AS 3679.1
B) Steel hollow sections grade C350 to AS 1163
C) Cold formed steel sections grade 450 to AS 1397
D) Bolts grade 4.6/s to AS 1111 generally and grade 8.8/s to AS 1252
E) Galvanised bolts to AS 1214
F) Welding to comply with AS 1554.1
S.3 Unless noted otherwise use:
A) 10mm thick cleats, gussets, fins and end plates
B) All bolts to be galvanised to AS 1214
C) 6mm continuous fillet welds to AS 1554.1
D) All structural steelwork galvanised.

TP. Termite protection

- TP1. Termite treatment to be as required by AS 3660.1, the building code of Australia and the old master builders' association's 'home owners guide for termite management'.
TP2. Termite protection generally shall be by termite chemical barriers to building perimeter.
TP3. Builder to provide access for clear visual inspections to the entire perimeter of the building.
TP4. A durable notice showing full details of termite treatment used and the date provided to be posted inside the meter box or similar approved location.
TP5. Owner to maintain access for clear visual inspections and make periodic inspections.

W. Waterproofing

- W.1 Any exposed structural timber which has any area in contact with another material and which will be inaccessible after fixing is to be given a coat of primer before fixing.

ULTIMATE AND SERVICEABILITY LIMIT STATE DESIGN WIND PRESSURES					
WIND CLASSIFICATION	DESIGN GUST WIND SPEED (m/s)		DESIGN PRESSURE FOR WINDOWS (p _w)		
	V ₀	V ₀	GREATER THAN 12m FROM CORNERS		
	ULS	SLS	ULS	SLS	SLS
C2	61	39	2.88	0.88	4.02
					UP TO 12m FROM CORNERS
					SLS
					1.23

ELEMENT	CLASS AND GRADE	MAX AGG	MAX SLUMP
FOOTINGS	N20	20MM	80MM

TIEDOWN SCHEDULE - TIMBER TRUSSES			
TYPE	METHOD	SOFTWOOD (p ₀₄)	HARDWOOD (p ₂)
ENGINEER TO CONFIRM			
TIMBER FRAME/STEEL			
TF 1	TRIPLE GRIP EACH SIDE, 42.8 dia NAILS EACH LEG	5.9	8.3
TF 2	30x0.8 STRAP LOOPED UNDER TOP PLATES, 42.8 DIA NAILS EACH END	13	13
TF 3	75x0.8 EA ONE SIDE, M12 TIE-DOWN ROD, M16 BOLT AND WASHER THRU TRUSS NAIL PLATE	16	-
TF 4	75x0.8 EA ONE SIDE, M12 TIE-DOWN ROD, M16 BOLT AND WASHER THRU TRUSS NAIL PLATE	-	20
TF 5	20x0.8 STRAPS LOOPED UNDER TOP PLATES, 42.8 dia NAILS EACH END	25	25
TF 6	50x10 EA ONE SIDE, M16 TIE-DOWN ROD, 50x3 CAP TIGHT OVER TRUSS, M12 HS BOLT AND WASHER THRU TRUSS NAIL PLATE	23	-
TF 7	50x10 EA ONE SIDE, M16 TIE-DOWN ROD, 50x3 CAP TIGHT OVER TRUSS, M16 BOLT AND WASHER THRU TRUSS NAIL PLATE	-	34
TF 8	50x12 EA ONE SIDE, M16 TIE-DOWN ROD, 50x3 CAP TIGHT OVER MIN DOUBLE TRUSS, M16 HS BOLT AND WASHER THRU TRUSS NAIL PLATES	44	49
TF 9	50x12 EA EACH SIDE WITH M16 TIE-DOWN RODS, 50x3 CAP TIGHT OVER MIN DOUBLE TRUSS, M16 HS BOLT AND WASHER THRU TRUSS NAIL PLATES	-	76
TF 10	50x12 EA EACH SIDE WITH M16 TIE-DOWN RODS, 50x3 CAP TIGHT OVER MIN DOUBLE TRUSS, M16 HS BOLT AND WASHER THRU TRUSS NAIL PLATES	54	-
TF 11	M12 TIE-DOWN ROD EACH SIDE WITH 75x12 OVERPLATE, 25mm MAX CLEARANCE	40	54

REVIEW

REVISIONS

No.	Description	Date
1	PRIOR EOI ISSUE	29/03/26

DIMENSIONS SHALL TAKE PRECEDENCE OVER SYMBOLS AND NOTATION. ALL DIMENSIONS AND EQUIPMENT SIZES AND SET OUT ON SITE PRIOR TO CONSTRUCTION. INCONSISTENCIES SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY. THIS DRAWING IS SUBJECT TO COPYRIGHT AND REMAINS THE PROPERTY OF MYRIAD DESIGN.



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07/041 7558 07/052 1690
07/041 7558 07/052 1690
07/041 7558 07/052 1690

PROJECT NAME:
HOPEVALE ABORIGINAL SHIRE
COUNCIL OFFICE - EXTENSION

PROJECT ADDRESS:
REVIEW

CLIENT NAME
HOPEVALE ASC

STRUCTURAL & TPY.
NOTES

SCALE
1 : 20

ISSUE DATE
Issue Date

SHEET
NUMBER 3001- A602

LINK ROAD

EXISTING
DRAVEWAY

51.5m 190°35'

EXISTING RESIDENCE

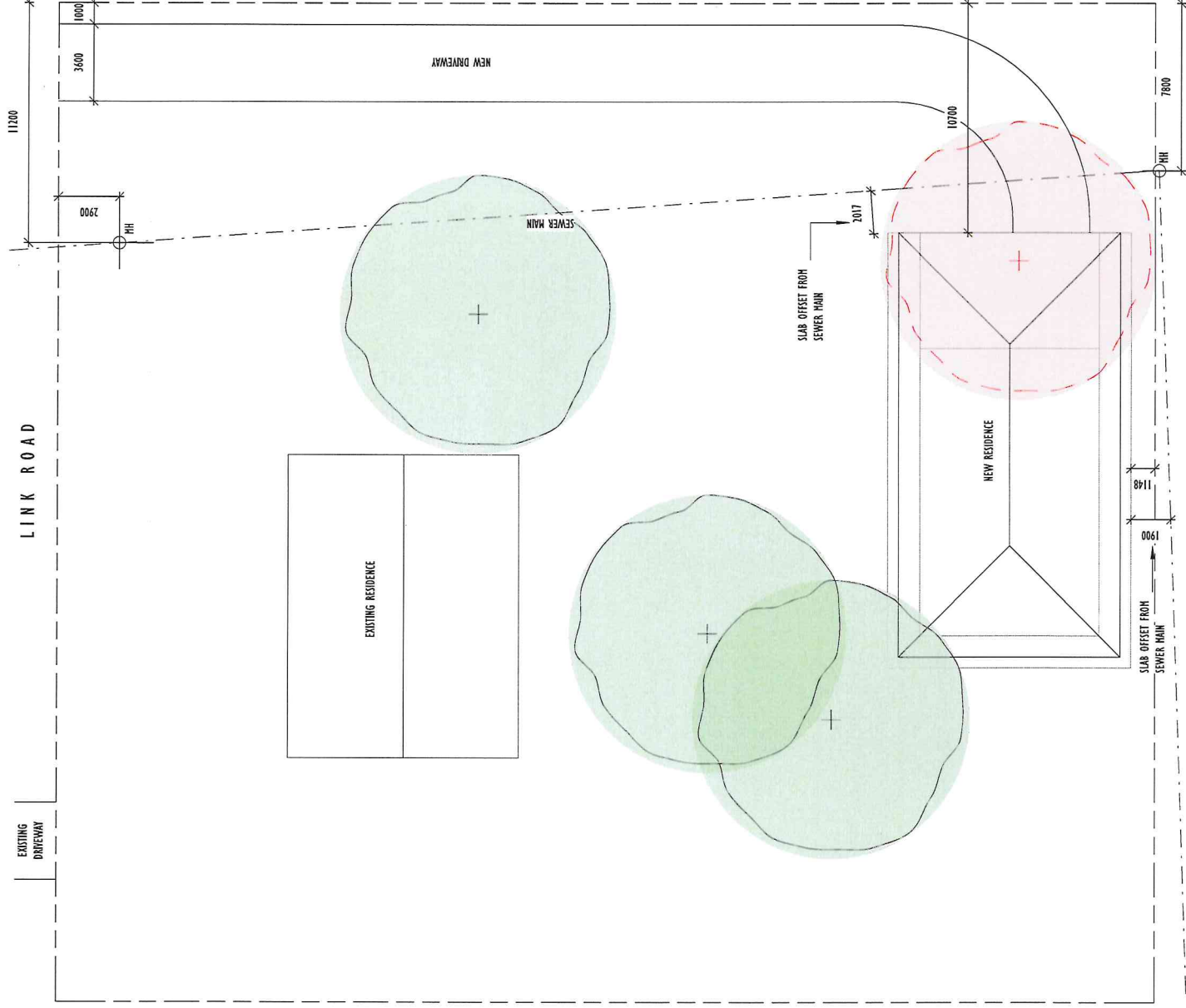
NEW DRIVEWAY

SEWER MAIN

SLAB OFFSET FROM
SEWER MAIN

NEW RESIDENCE

SLAB OFFSET FROM
SEWER MAIN



REVIEW

DRAWING STATUS:

REV.	DESCRIPTION	DATE

DRAWN BY:
MYRIAD

CHECKED BY:
STUART JACKSON

CHECKED ON:
21.04.26

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17/6 Buchanan Street, Cairns QLD 4870
07 4041 7258 1164388

PROJECT NAME:
NEW 2 BED HOUSE

PROJECT ADDRESS:
121 LINK ROAD

CLIENT:
HWSC

SITE PLAN

SCALE
1 : 200@ A3

ISSUE DATE
21.04.26

SHEET NUMBER
3005 - 2.1

REVIEW

[illegible]

DRAWN BY: HYRIAD	CHECKED BY: STUART JACKSON	CHECKED ON: 21.04.26
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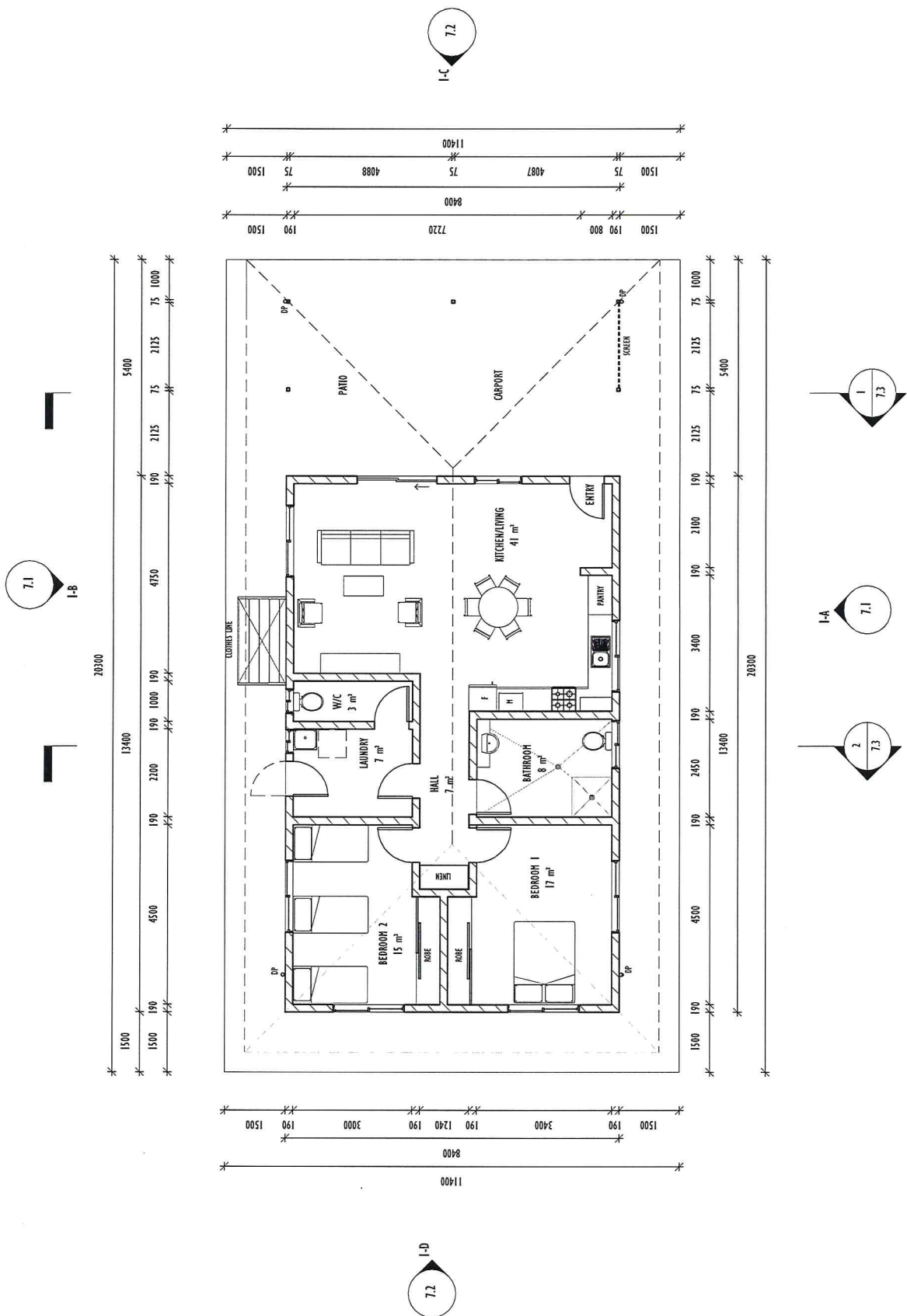


PROJECT NAME:
NEW 2 BED HOUSE

PROJECT ADDRESS:
121 LINK ROAD

CLIENT:
HWASC

FLOOR PLAN	SCALE	1 : 100 @ A3
	ISSUE DATE	21.04.26
SHEET NUMBER	3005 - 3.1	



FLOOR PLAN

1 : 100

3005 - 3.1

INSTALL RIDGE VENT COLOUR MATCHED TO ROOF SHEETING AS PER MANUFACTURERS SPECIFICATIONS

COLORBOND ROOF SHEETING

15°

CARPORT

W4

W3

W1

ELEVATION I-A

1 : 50

I-A

3.1 7.1

COLORBOND ROOF SHEETING

15°

PATIO

W1

W1

W2

W3

W4

W5

W6

W7

ELEVATION I-B

1 : 50

I-B

3.1 7.1

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STUART JACKSON

CHECKED ON:

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PROJECT NAME:

NEW 2 BED HOUSE

PROJECT ADDRESS:

121 LINK ROAD

CLIENT:

HWAC

ELEVATIONS

SCALE

1 : 50 @ A3

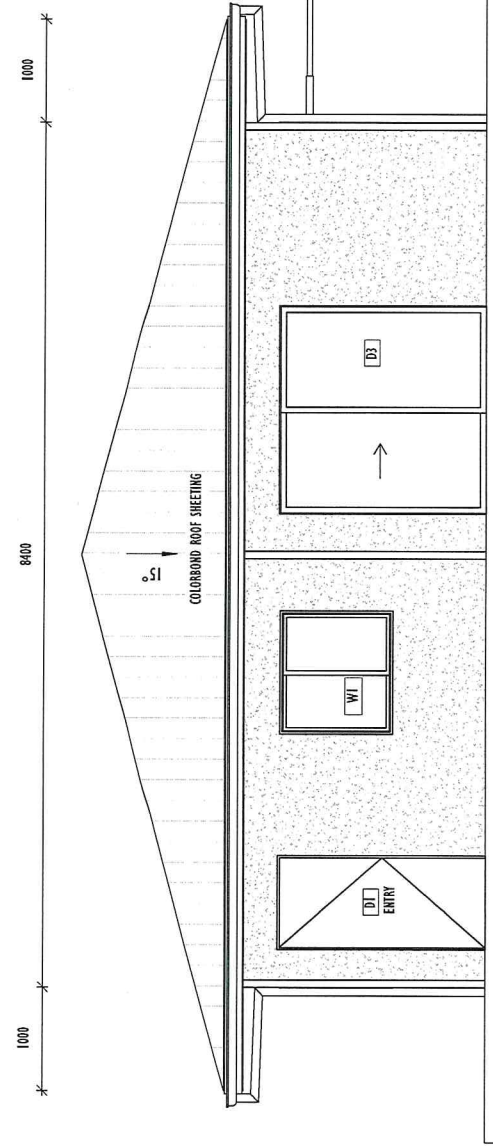
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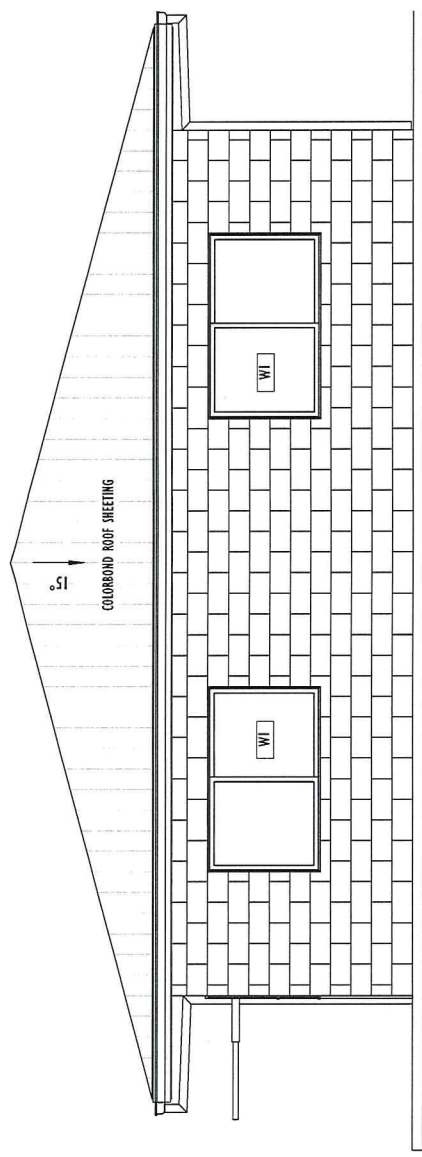
APPROVAL



ELEVATION I-C

1 : 50

I-C	3.1	7.2
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ELEVATION I-D

1 : 50

I-D	3.1	7.2
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REV.	DESCRIPTION	DATE

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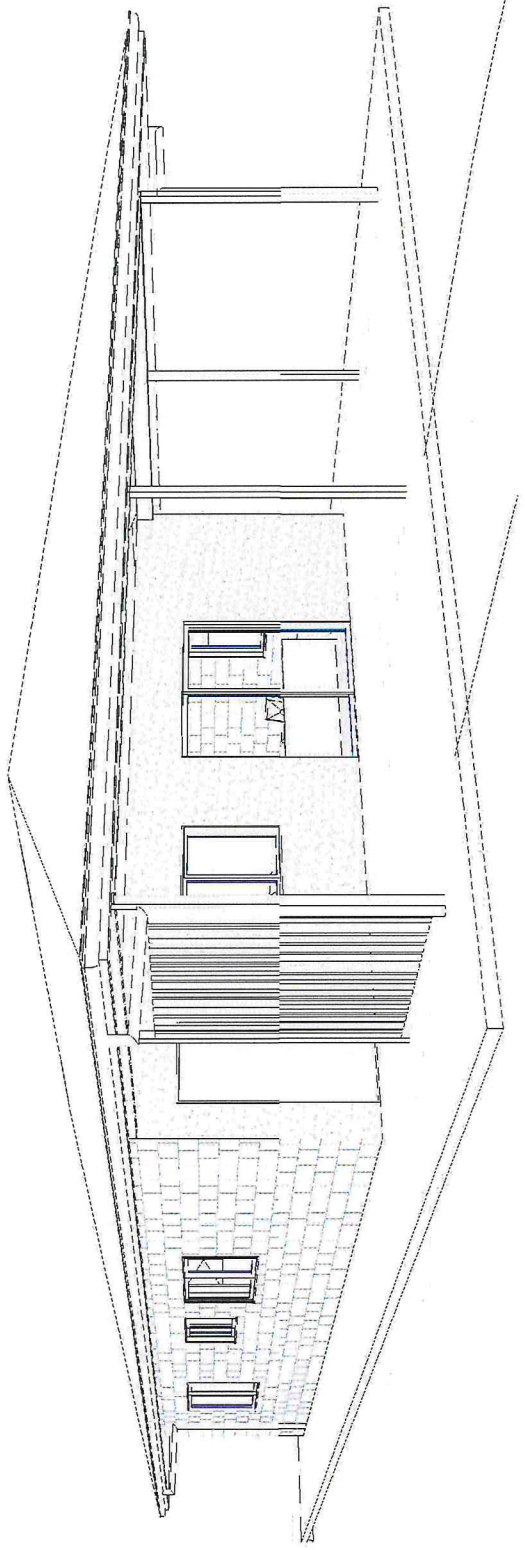
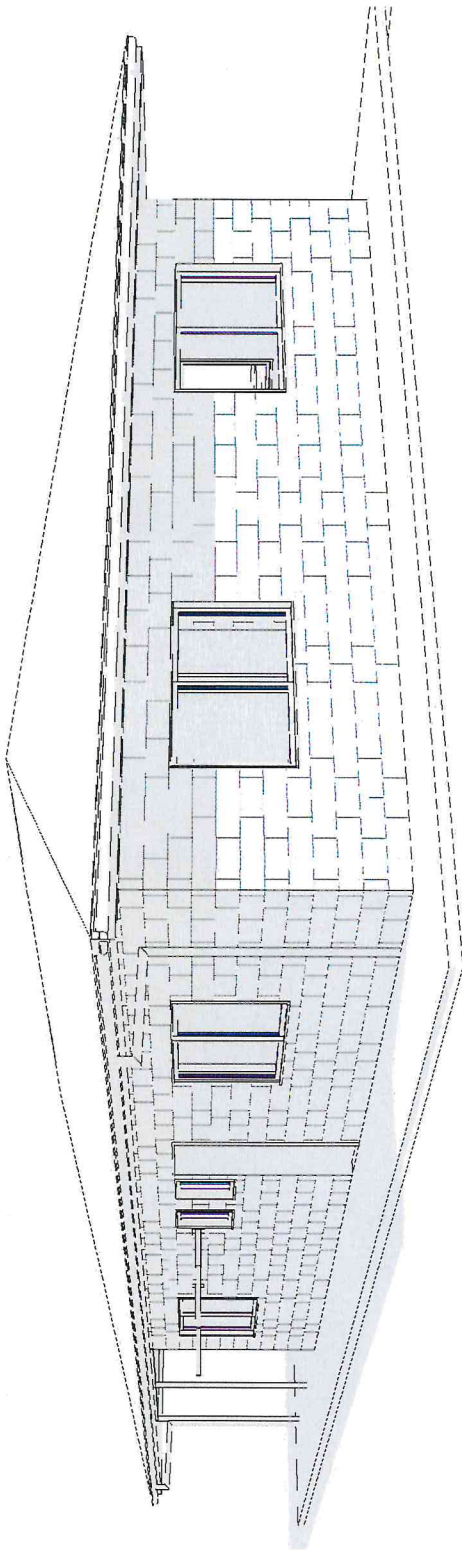
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residential design
176 Buchanan Street, Cairns QLD 4870
07 4041 7258 1164588

PROJECT NAME:
NEW 2 BED HOUSE
PROJECT ADDRESS:
121 LINK ROAD
CLIENT:
HWAC

ELEVATIONS		
SCALE	1 : 50@ A3	
ISSUE DATE	21.04.26	
SHEET NUMBER	3005 - 7.2	

REVIEW

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REV.	DESCRIPTION	DATE

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PROJECT NAME:
NEW 2 BED HOUSE
PROJECT ADDRESS:
121 LINK ROAD
CLIENT:
HMAC

3D VIEWS	@ A3
SCALE	21.04.26
ISSUE DATE	
SHEET NUMBER	3005 - 10.1