

Agenda Item Submission



Submission

Office Use Only

Council / Committee Name *

Ordinary Meeting

Agenda Section *

Capital Works Manager Report

Requested Meeting Session *

Wednesday 15th July 2026

Date Requested *

08-Jul-26

Date item was requested

Agenda Item Subject *

Capital Works Manager Update Report

Agenda Item Number

OM2026/07-001

Classification *



Information



Action



Note



Confidential

Details

Recommendation *

That Council:
A. Receive the Capital Works Manager's Update Report for July 2026.
B. Provide action on whether officers should progress the existing dog pound as a like-for-like replacement at the current site or investigate an expanded design option for future consideration.

Background/Summary

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This report provides Council with a summary of Capital Works activities during July 2026. The report outlines progress across key infrastructure projects, housing initiatives, procurement activities, town planning matters, community safety works and strategic capital planning priorities.

Key outcomes of the report include:

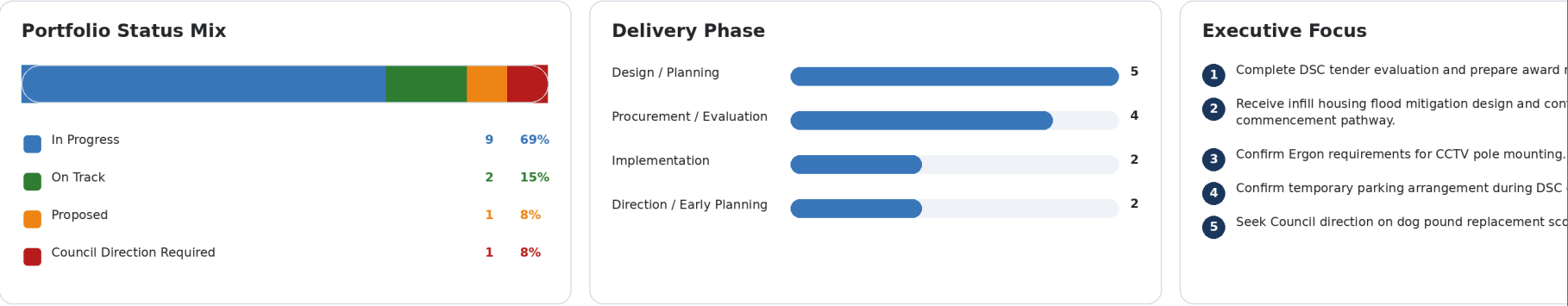
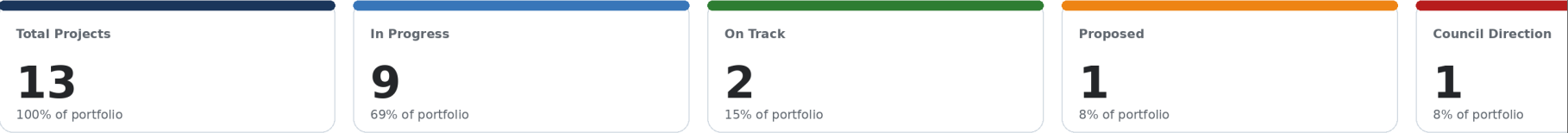
- Digital Services Centre tenders have been received and are currently being evaluated, with the tender submissions provided as supporting attachments.
- 121 Link Road and 25 Flierl Street have been surveyed by the civil engineer, with civil design and flood mitigation strategies currently being developed and due back by the end of July 2026.
- Council is still targeting an August 2026 commencement for both the Digital Services Centre and the two infill housing projects, subject to tender evaluation, award, final design and contractor mobilisation.
- Tender interest and submission activity has been slower than expected on some packages, and current market pricing is showing significant escalation compared with estimates prepared at the time of funding applications.
- Ben Lancini presented the Multi-Purpose Centre assessment findings to Council, with mechanical, electrical and selected structural remedial works now issued for tender.
- The current MPC has been identified as not fit for purpose in its current state, with structural design concerns noted and longer-term resilience options to be investigated.
- Lighting and CCTV programs have commenced, with lighting pole bases cast and CCTV installation subject to Ergon requirements for mounting cameras on Ergon poles.
- An audit of existing community solar lights has been undertaken, with repair works targeted for August 2026.
- Pricing has been received for civil engineering design and subdivision works for the proposed 9-unit Palm Close subdivision, and architectural design works have also been tendered.
- Indij Architecture is scheduled to complete its final community engagement and workshop prior to submitting the Housing Design Principles, targeted for August/September 2026.
- Volt consultants continue to investigate funding opportunities to support further feasibility and energy study development for electricity infrastructure.
- Temporary parking will be required during Digital Services Centre construction, with the open land where the old jail cell was previously located proposed as a temporary parking area.
- Staff housing planning has progressed, with Reuther Street survey information to be issued to the architect for layout analysis and concept options.
- Everlina Plaza switchboard upgrade pricing has exceeded the available balance, with tenderers requested to provide reduced-scope options to better align with budget constraints.

- Council direction is sought on whether the existing dog pound should be replaced like-for-like at the current site or whether officers should investigate an expanded facility with additional services, noting the likely cost implications.

CAPITAL WORKS EXECUTIVE DASHBOARD

July 2026 Portfolio Snapshot | Hope Vale Aboriginal Shire Council

13
Deliv



Delivery Phase

Design / Planning

5

Procurement / Evaluation

4

Implementation

2

Direction / Early Planning

2

Executive Focus

1

Complete DSC tender evaluation and prepare award r

2

Receive Infill housing flood mitigation design and con

3

Confirm Ergon requirements for CCTV pole mounting.

4

Confirm temporary parking arrangement during DSC

5

Seek Council direction on dog pound replacement sco

Priority Project Notes

Digital Services Centre

On Track

Tenders received and evaluation underway. Target remains August commencement, subject to award and site readiness.

Infill Housing

On Track

Civil design is underway to address flood mitigation. Design due by end of July, with August commencement still targeted.

MPC Upgrade

In Progress

Assessment presented to Council. Mechanical, electrical and selected structural remedial works have been issued for tender.

Council Direction Items

Council Direction Required

Dog Pound scope requires dire parking strategy proposed for period.

Portfolio Watch Points

Market / Budget

Slower tender interest and cost escalation are creating pressure against original funding estimates.

Timing

August commencements remain targeted, but are dependent on evaluation, award, design completion and approvals.

Technical

Flood mitigation, civil design, Ergon requirements a scoping remain active coordination items.

Prepared for monthly Council reporting. Commercial tender details should be managed as confidential where applicable.

1.Project Design and Delivery Progress

Multi-Purpose Centre (MPC):

Ben Lancini attended Council and presented his assessment findings on the multi-Purpose Centre. The assessment identified that the current MPC is not fit for purpose in its current state. Matters raised included mechanical, electrical, structural issues and flood mitigation strategies, with the structural design and current building performance requiring further consideration. Following the assessment and presentation to Council, the mechanical, electrical and selected structural remedial works have been issued for tender. The purpose of this process is to obtain market pricing and determine the practical cost and scope required to address the immediate building issues. It was also noted during discussion that Council may need to consider longer-term resilience options, including opportunities to develop an ancillary cyclone-rated bunker or shelter to better meet community safety, emergency response and cyclone shelter requirements.

Everlina Plaza Switchboard Upgrade:

Council received funding of \$ 200,000 for the Everlina Plaza switchboard upgrade. To date, costs in the region of \$ 37,000 have been incurred for assessments, planning and associated preparatory work. The switchboard upgrade was issued to tender; however, the tendered prices received were above the remaining available budget. Tenderers have been requested to provide reduced-scope pricing and/or staged options that better align with the current budget constraints. Once revised pricing is received, officers will assess the most practical and affordable delivery pathway and identify whether any further budget, scope or staging decision is required.

Digital Services Centre:

Tenders for the Digital Services Centre have been received and are currently being evaluated and assessed. The tender submissions received have been provided as attachments and supporting documentation. Due to the commercial nature of the submissions, detailed pricing and tenderer-specific information should continue to be managed in accordance with Council procurement and confidentiality requirements. The tender evaluation process will consider pricing, methodology, program, capability, local participation, WHS requirements, construction approach, procurement risks, and capacity to meet the required August 2026 commencement target. Following completion of the evaluation process, the preferred tenderer will be recommended for award in accordance with Council procurement requirements. The project remains targeted for August 2026 commencement, subject to completion of tender evaluation, Council approval, contract award, contract execution and site readiness.

Digital Services Centre External Works and Parking:

Survey works have been completed for the Digital Services Centre external works area, including the proposed reconfigured parking layout. The engineers are currently progressing the civil design model. This design work will address the external works requirements, parking layout, levels, access, drainage and interface with the main building works. The intent is for the civil and external works package to be coordinated with the implementation of the Digital Services Centre building works. This will assist in ensuring that the building, parking, access and external site functionality are delivered as an integrated project outcome. Further review will be undertaken once the civil design model is received.

Temporary Parking During Construction:

During construction of the Digital Services Centre, disruption to the existing parking facility is expected. It is proposed that temporary parking be relocated to the open land where the old jail cell was previously located. This temporary arrangement will require confirmation of site suitability, safe access, traffic management, temporary signage, surface condition, drainage and pedestrian connection back to the precinct. Providing a temporary parking area will assist in reducing disruption to staff, tenants, visitors and contractors while the Digital Services Centre building and associated civil works are being delivered.

Infill Housing (25 Flierl Street & 121 Link Road):

The 121 Link Road and 25 Flierl Street infill housing projects continue to progress. The civil engineer has surveyed both sites and is currently preparing the civil design. This design will address site servicing, levels, stormwater management and flood mitigation strategies for both housing sites. The civil design is due back by the end of July 2026. Subject to receipt of the design, tender progression, contractor availability and final internal coordination, Council is still targeting an August 2026 commencement for both projects. During the procurement process, it has been noted that tender interest and submission activity has been slower than expected. There has also been a significant variation between the original estimated project costs at funding application stage and current market pricing. This appears to reflect broader market escalation, including increased material costs, contractor availability constraints and the higher cost of remote construction delivery. Stormwater, flood mitigation, floor levels, wastewater drainage and site servicing remain key coordination items. Construction commencement remains subject to tendering, evaluation, award, tenant/site availability, final civil resolution and contractor mobilisation.

Staff Housing - Reuther Street:

Survey information for the Reuther Street staff housing site has been completed and will be provided to the architect for review and analysis. The intent is for the architect to consider how best to arrange staff housing on the site, including access, services, site constraints, yield, staging, cost, liveability and long-term operational requirements. Further concept options will be developed before any final scope, cost estimate or procurement pathway is confirmed.

Existing Dog Pound:

Council has funds available in the current budget to demolish and reinstate the existing dog pound. Direction is sought from Council as to whether officers should work with the existing site and progress a like-for-like replacement, or whether alternative design strategies should be investigated. An alternative approach may allow for a larger pound and the potential inclusion of additional services; however, this would likely have increased capital cost, design, approval, servicing and ongoing operational implications. The preferred next step is to obtain Council's preliminary direction before progressing detailed design or procurement, so that the project scope is aligned with Council's expectations and budget position.

2.Town Planning and Subdivision

The proposed 9-unit subdivision off Palm Close continues to progress through planning, civil servicing and design review. Council has received pricing for the civil engineering design and subdivision works required to progress the project. These works are expected to include civil design, servicing, internal access, stormwater, water, sewer and related subdivision requirements. The architectural design works for the Palm Close housing project have also been tendered and are attached separately for consideration. The project remains an important part of Council future housing delivery program and will require continued coordination between planning, civil engineering, architectural design, servicing and funding requirements.

Key matters under review include internal access and driveway arrangements, civil design and subdivision requirements, water and sewer servicing, stormwater management, site layout and housing yield, planning approval pathway, architectural design coordination, construction cost and staging.

3.Engineering and Technical Projects

Engineering and technical coordination during this reporting period has focused on Digital Services Centre tender evaluation support, Digital Services Centre external works and parking civil design, temporary parking arrangements, civil survey and flood mitigation design for 121 Link Road and 25 Flierl Street, MPC mechanical, electrical and structural remedial works, Everlina Plaza switchboard scope review, staff housing survey information, Palm Close civil engineering design and subdivision pricing, CCTV pole mounting requirements and Ergon coordination, and broader electricity infrastructure and feasibility planning. For the infill housing projects, the civil engineer is preparing the required design response to address flood mitigation, site levels, stormwater and servicing. This design is due back by the end of July 2026. For the Digital Services Centre, civil design coordination is progressing in parallel with the main building tender evaluation and intended August commencement.

4.Funding and Procurement

The Capital Works program remains closely linked to external funding milestones, procurement timeframes, contractor availability and market pricing. During this reporting period, procurement activity has focused on receipt and evaluation of Digital Services Centre tenders, tendering of MPC mechanical, electrical and selected structural remedial works, scope review and revised pricing for the Everlina Plaza switchboard upgrade, tender progression for 121 Link Road and 25 Flierl Street, civil design requirements for infill housing flood mitigation, receipt of civil engineering pricing for Palm Close subdivision works, tendering of architectural design works for Palm Close housing, commencement of CCTV and lighting implementation, review of solar lighting audit requirements, staff housing concept planning and the proposed dog pound replacement scope.

It has been noted that tender interest and submission activity on some packages has been slower than expected. It has also become evident that current market pricing is materially higher than the budgets and estimates prepared at the time of original funding applications. This may create budget pressure across some capital works projects and will need to be considered during tender assessment, funding discussions and future project planning.

5.CCTV and Lighting Program

The CCTV and Lighting programs have commenced. For the lighting program, the pole bases have been cast. The next stage will be the installation and lifting of the light poles. In addition to the new lighting works, an audit has been undertaken of existing solar lights around the community. Several existing solar lights require attention and repairs. These works are targeted for implementation in August 2026. The CCTV program is also underway. Council is currently awaiting confirmation from Ergon regarding restrictions, parameters and requirements for mounting CCTV cameras on Ergon poles. Once Ergon requirements are confirmed, Council will be able to progress the installation methodology and implementation program.

6.Housing Design Principles

The Housing Design Principles project, led by Indij Architecture, continues to progress. Indij is expected to undertake its final community engagement and workshop before submitting the final Housing Design Principles documentation. The target for completion is August/September 2026. The completed design principles are intended to inform new housing designs and provide Council with a locally responsive framework for future housing delivery, including cultural context, local climate, household functionality, overcrowding pressures, outdoor living, material suitability, durability, maintainability and future housing design consistency.

7. Strategic Capital Housing Plan

The Strategic Capital Housing Plan remains Council overarching framework for coordinating funded housing commitments, future subdivision opportunities, infill development and infrastructure upgrades. Current focus areas include delivery of current funded housing commitments, 121 Link Road and 25 Flierl Street infill housing, Palm Close 9-unit subdivision planning, future infill and densification opportunities, land

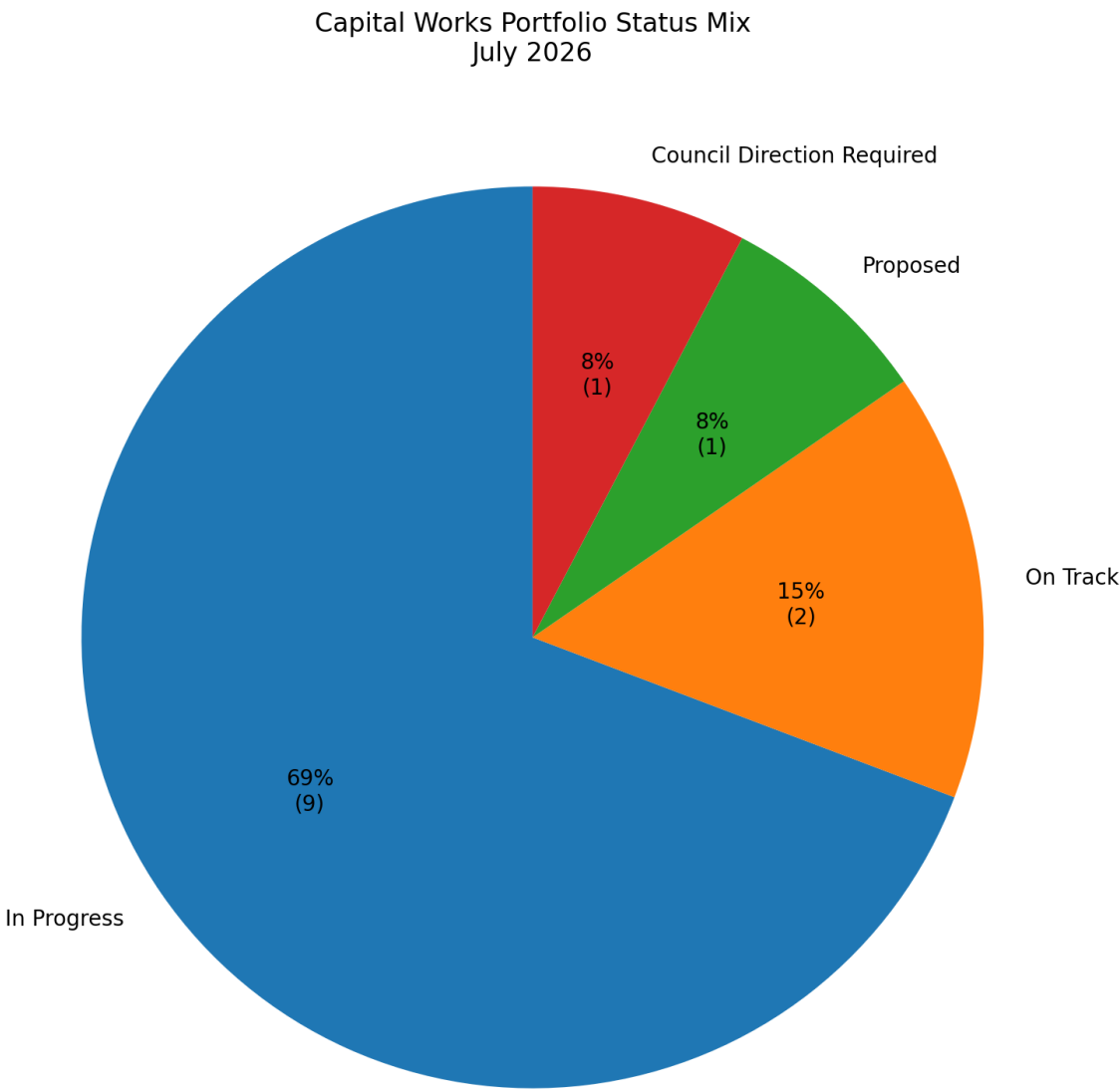
availability and potential acquisition opportunities, infrastructure capacity, particularly power, water and sewer, future funding pathways, and housing design principles to inform future housing projects. The Plan continues to transition from strategic planning into implementation, subject to funding, planning approvals, infrastructure capacity and procurement outcomes.

8. Asset Management and Budget Planning

Capital Works input into asset management and budget planning has continued during this reporting period. Priority areas include funded housing delivery, Digital Services Centre delivery, MPC remedial works, Everlina Plaza switchboard upgrade, community facility renewal, CCTV and lighting infrastructure, existing solar light repairs, staff housing and future housing opportunities, the existing dog pound replacement, Palm Close subdivision planning, broader infrastructure constraints and township growth. The ongoing challenge remains aligning Council capital priorities with available funding, internal delivery capacity, contractor availability, market pricing and long-term asset management needs.

9. Electricity Infrastructure

Electricity infrastructure remains a critical constraint for future development and housing expansion. Council consultants, Volt, have continued to investigate funding opportunities to support further feasibility and energy study work. Submissions have been made to funding schemes to assist in developing the feasibility and energy study work further. This matter remains an important enabling factor for the Strategic Capital Housing Plan, future subdivision, staff housing, community facilities and broader township development. Council will continue to explore funding, feasibility and infrastructure upgrade options to support future growth.



Budget and Resource Considerations

Style

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Works are in keeping with approved budget and funding agreements.

Action Options

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Search

Link to Operational Plan

Increasing housing supply and addressing overcrowding. Delivering funded capital works in a staged, accountable manner. Improving community

The image is a screenshot of a web browser window. The browser's address bar shows the URL "http://localhost:3000/". The page title is "Stakeholders". The main content area displays a list of stakeholders, each preceded by a blue circular icon containing a white lowercase letter 'a'. The list includes:

- Department of Housing and Public Works
- Project consultants and engineers
- Town planning advisors
- Tenderers and contractors
- Service authorities, including Ergon
- Indij Architecture and Volt consultants
- Surveyors and civil design consultants
- Architectural consultants for staff housing and future housing design

The browser's developer tools are open at the bottom, showing the "Elements" panel with the following HTML structure:

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<div>  
  <ul>  
    <li>• Department of Housing and Public Works</li>  
    <li>• Project consultants and engineers</li>  
    <li>• Town planning advisors</li>  
    <li>• Tenderers and contractors</li>  
    <li>• Service authorities, including Ergon</li>  
    <li>• Indij Architecture and Volt consultants</li>  
    <li>• Surveyors and civil design consultants</li>  
    <li>• Architectural consultants for staff housing and future housing design</li>  
  </ul>  
</div>
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 Low Medium High

Drag and drop files here to upload or [Choose files](#)

☐ Yes ☒ **Not Applicable**

46 4855 820 13 www.hopevale.qld.gov.au kieran.eustice@hopevale.qld.gov.au

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